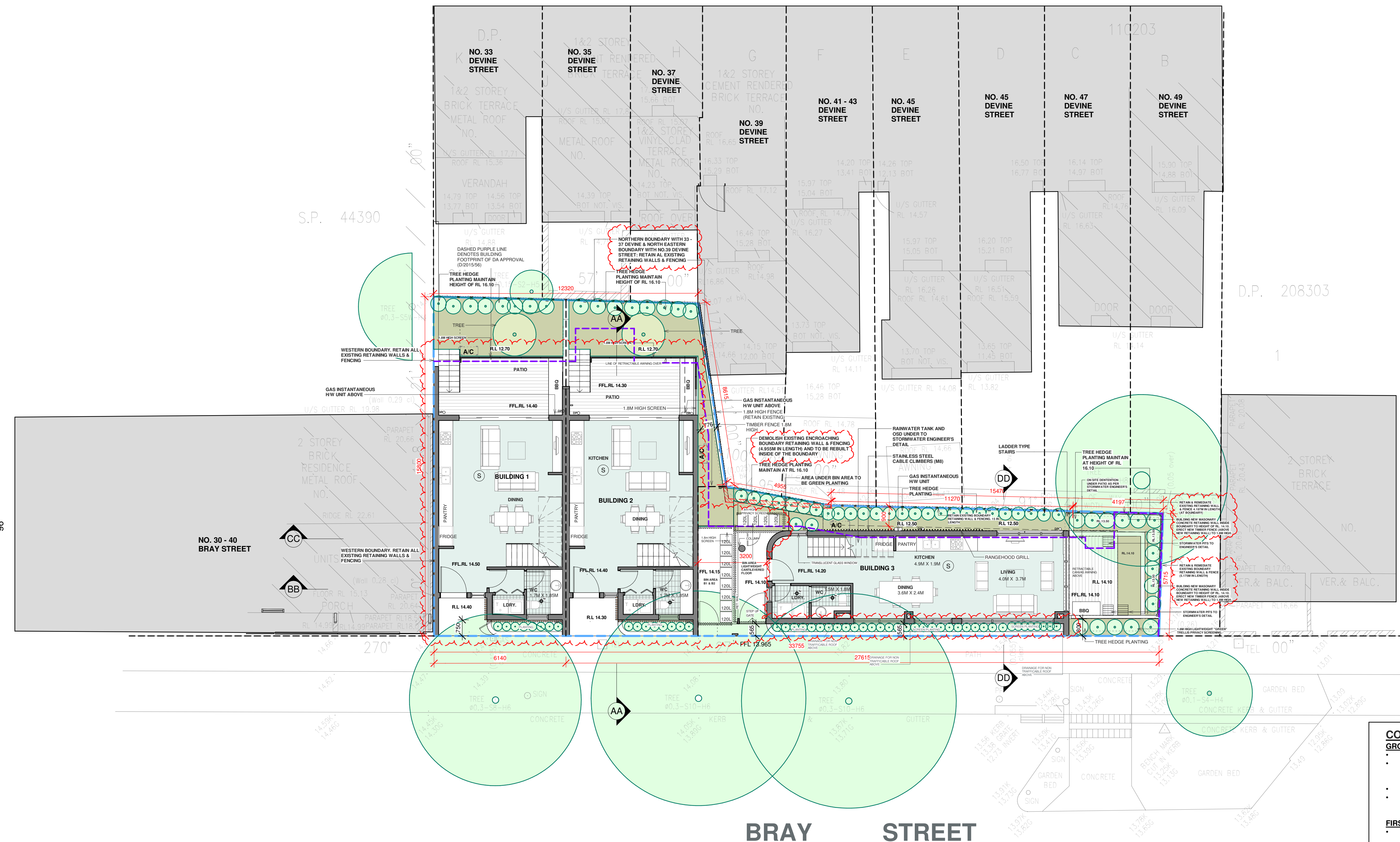


Attachment B

Selected Drawings



NATHERS summary for 50 Bray Street ERSKINEVILLE NSW 2043		
Building Elements	Material	Detail
External walls	100mm Concrete + furring channel + plasterboard Brick Veneer	R2.5 bulk insulation Vapour barrier + R2.5 bulk insulation
Internal walls	FC cladding Plasterboard on studs Cavity concrete plasterboard lined (Party Wall)	R2.5 bulk insulation 2 x R2.5 bulk insulation R2.0 bulk insulation to ceilings, with roof above.
Ceilings	Plasterboard Plasterboard	R2.0 bulk insulation
Floors	Concrete	-
Floor finishes	Timber - Ground floor and wet areas - tiled First floor and attic - carpet	Between first floor and attic
Roof	Coloured Light	35mm antiseek blanket
Windows/doors & skylights - Dwellings 1 and 2		
Windows	Glass & Frame type	U and SHGC values
ALM-001-01	Aluminium framed single clear	U value: 6.70 and SHGC 0.57
ALM-002-01	Aluminium framed single clear	U value: 6.70 and SHGC 0.70
VFL-011-01	Aluminium framed double glazed low e	U value: 2.50 and SHGC 0.34
Window/doors & skylights - Dwelling 3		
ALM-008-01	Aluminium framed argon double glazed or similar	U value: 4.50 and SHGC 0.81
ALM-002-01	Aluminium framed single clear	U value: 6.70 and SHGC 0.70
VFL-010-01	Aluminium framed double glazed low e	U value: 2.50 and SHGC 0.21

BASIX COMMITMENTS NOTES				
REFER TO APPROVED BASIX REPORT				
WATER	All Shower Heads	All toilet flushing systems	All kitchen taps	All bathroom taps
	4 star (>4 but <= 4.5 L/min)	4 star	4 star	4 star
ENERGY	Hot water system: Gas instantaneous with a performance of 5 stars			
	Bathroom ventilation system: Individual fan, ducted to façade or roof; manual switch on/off			
	Kitchen ventilation system: Individual fan, ducted to façade or roof; manual switch on/off			
	Laundry ventilation system: Individual fan, ducted to façade or roof; manual switch on/off			
	Cooling system: 1 Phase air-conditioning EER 3.0 - 3.5 in at least 1 living/bed area (zoned)			
	Heating system: 1 Phase air-conditioning EER 3.0 - 3.5 in at least 1 living/bed area (zoned)			
Natural lighting: As per BASIX				
Artificial lighting: As per BASIX				
Must install a gas cooktop and electric oven.				
Must install fixed outdoor clothes drying line as part of the development.				

CONSTRUCTION MATERIALS NOTES (BASIX):

GROUND FLOOR:

- Ground Floor Construction - Reinforced Concrete Floor (Tiled finish)
- External Walls - AFS 120mm LogicWALL with steel stud frame lined with plasterboard
- External walls with facebrick finish - 250mm brick veneer wall- 110mm brick to external side, steel stud lined with plasterboard to interior
- Internal Walls - Steel stud framed lined with plasterboard
- Party Walls - 2 x 120mm thick AFS Logicwall concrete with 50mm discontinuous air gap in between on lot boundary, lined with plasterboard on both faces

FIRST FLOOR:

- First Floor Construction - Reinforced Concrete Floor (Carpet finish through. Bathrooms to have tiled finish)
- External Walls - AFS 120mm LogicWALL with steel stud frame lined with plasterboard
- External walls with facebrick finish - 250mm brick veneer wall- 110mm brick to external side, steel stud lined with plasterboard to interior
- Internal Walls - Steel stud framed lined with plasterboard
- Party Walls - 2 x 120mm thick AFS Logicwall concrete with 50mm discontinuous air gap in between on lot boundary, lined with plasterboard on both faces

ATTIC LEVEL:

- Attic Floor Construction - Timber Floor with carpet over
- External Walls - Cladding on Timber stud battens line dwith plasterboard internally
- Party Walls - 2 x 120mm thick AFS Logicwall concrete with 50mm discontinuous air gap in between on lot boundary, lined with plasterboard on both faces

OTHER:

- Gas Cooktop & Electric Oven
- Gas Instantaneous hot water system with solar panels

1 Proposed Ground Floor/Site Plan
A002 1: 100

ARCHITECTURAL - GENERAL NOTES

A1 All dimensions are to be confirmed on site by the builder/subcontractor, any incongruities must be reported to the Architect before commencement of any work.

A2 The Builder/subcontractor will be held responsible for any construction details which have not been approved by the Architect.

A3 In the event of encountering any discrepancies on these drawings, specification or subsequent instructions issued, the Builder/Subcontractor shall contact the Architect before proceeding further with any work.

A4 The Builder/Subcontractor will be held responsible for the watertightness of the whole building for a minimum period of two years after the date of practical completion.

A5 It is the contractor's responsibility to have all Architectural & Structural documentation, including all site instructions any details issued during the course of construction, approved by the relevant authorities including the local Council & the Water Board before any work may be proceeded with.

A6 All construction, control joints and expansion joints in the wall, floors, & other locations shall be in strict accordance with Architectural and/or Structural Engineering details. No joints or breaks other than specified, are allowed without written permission from the Architect and/or Engineer.

A7 Measurements for the fabrication of secondary components such as windows, doors, internal frames, structural steel components and the like, are not to be taken from these documents. Measurements must be taken on site to suit the work as constructed.

A8 All structural components shall be in strict accordance to details and specifications as prepared by a structural engineer, and those details from part of the total specification.

A9 All existing structures need to be examined for structural adequacy, and it is the Contractor's responsibility to ensure that a certificate of structural adequacy is available prior to the start of any work.

A10 No construction work shall commence until a site survey has been completed. This work must be performed by a registered Surveyor.

A11 Foundation set-out, to be performed by the Surveyor mentioned in A10 and recovery pegs must be protected during construction.

A12 All timber work is to comply with the requirements of the Light Timber Framing Code S.A.A. Codes and Structural Engineer's details and specification.

A13 Copyrights of all documentation and designs relating to both Architectural and Structural Engineering, are retained by this office. Written authority is required for any reproduction.

A14 All Architectural documentation to be read in conjunction with the Structural Engineer's details and specification.

IMPORTANT NOTE

It is the Tenderer's & Contractor's responsibility to check that all Architectural, Structural and all other job related documentation have been received before tendering and/or construction may commence. Should there be any doubt to the availability of such documents the Architect should be notified before further details be needed, the tenderer and/or Contractor shall obtain such details before signing of contract documents. Failure to adhere to these conditions, the tenderer and/or Contractor nullifies any right or claim for extras, due to interpretation of documentation, and the Architect's &/or Engineer's direction shall be carried out at no extra cost.

DRAWN	DATE	ISSUE	AMENDMENT
JT	04.07.2022	A	ISSUE FOR PRE-DA
CK	18.10.2022	B	ISSUE FOR DA
CK	16.08.2023	C	ISSUE FOR DA - DRAWINGS AMENDED IN RELATION TO COUNCIL RFI LETTER DATED 27 APRIL 2023

IMPORTANT NOTE
THESE DRAWINGS HAVE BEEN ISSUED FOR DEVELOPMENT APPLICATION PURPOSES ONLY. THEY ARE NOT ISSUED FOR CONSTRUCTION OR CONSTRUCTION CERTIFICATE OR FOR THE PURPOSES OF PRICING BY ANY CONTRACTOR

Katris Architects Pty
Level 1, Suite 2, 28-30 Burwood Road, Burwood NSW
PO Box 703 Burwood 1805 NSW
ABN 79 001 639 970

PROJECT
PROPOSED SUBDIVISION INTO 3 LOTS AND THE PROPOSAL OF X3 SINGLE DWELLINGS ON EACH ALLOTMENT

CLIENT
PELIK Pty Ltd

DRAWN
JT

ARCHITECTS APPROVAL
CK

JOB NO.
1467-22

DATE
21.08.2023

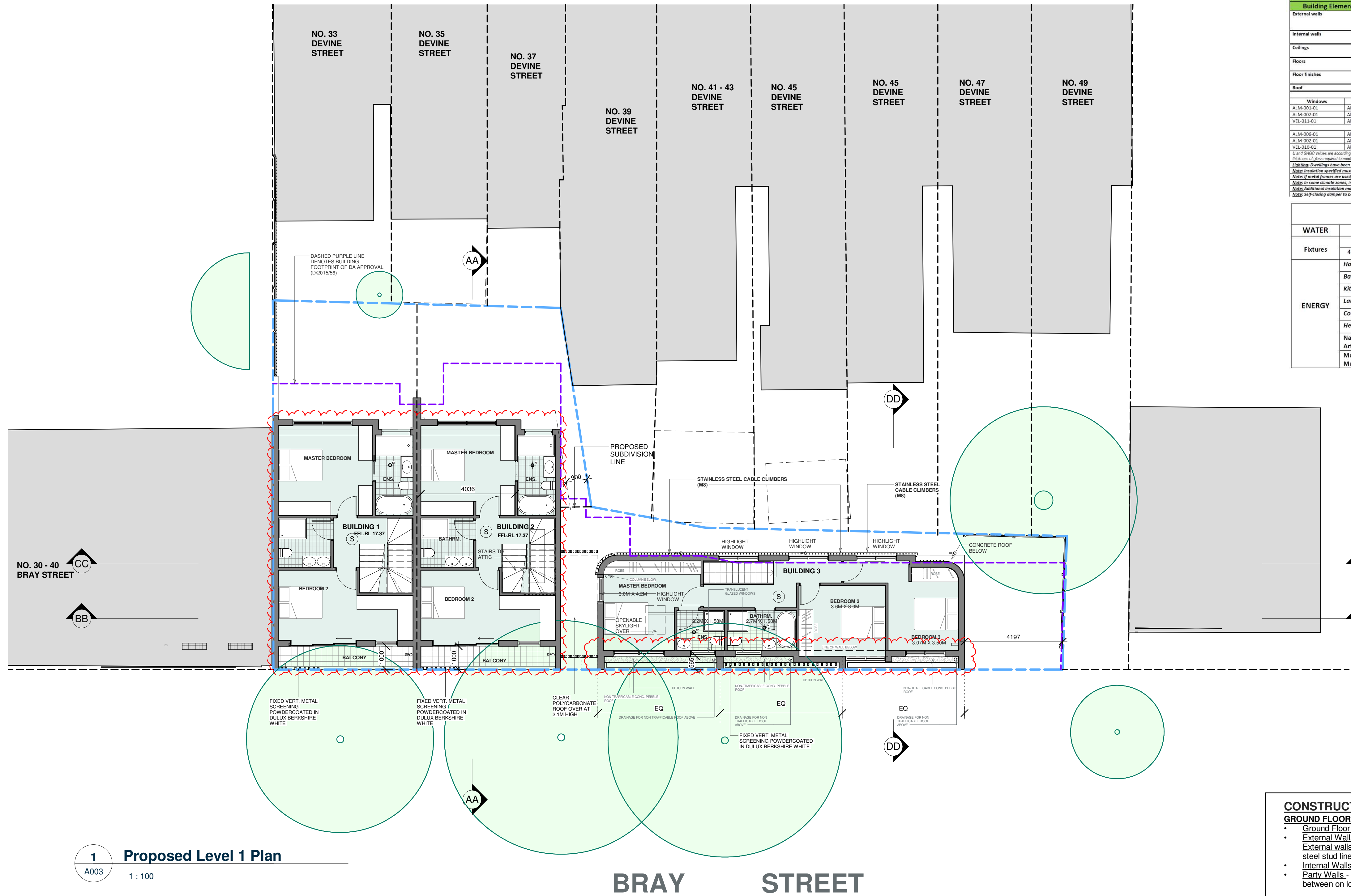
SCALE
SCALE @ A3 1:100

DRAWING NO.
A002

ISSUE
C

CONTACT
p 02 9744
f 02 9747 5046
www.katris.com.

Notes:
Nominated Architects Chris Katris (Reg 9724), Nick Katris (Reg 3878), Peter Katris (Reg 9724)



1 Proposed Level 1 Plan
A003 1:100

NATHERS summary for 50 Bray Street ERSKINEVILLE NSW 2043		
Building Elements	Material	Detail
External walls	100mm Concrete + furring channel + plasterboard	R2.5 bulk insulation
	Brick Veneer	Vapour barrier + R2.5 bulk insulation
Internal walls	FC cladding	Vapour barrier + R2.5 bulk insulation
	Plasterboard on studs	R2.5 internal walls equivalent to roof level
	Cavity concrete plasterboard lined (Party Wall)	2 x R2.5 bulk insulation
Ceilings	Plasterboard	R2.0 bulk insulation to ceilings, with roof above
Floors	Concrete	-
	Timber	Between first floor and attic
Floor finishes	-	-
	Ground floor and wet areas - tiled	-
	First floor and attic - carpet	-
Roof	Coloured Light	55mm antiseek blanket

BASIX COMMITMENTS NOTES				
REFER TO APPROVED BASIX REPORT				
WATER	All Shower Heads	All toilet flushing systems	All kitchen taps	All bathroom taps
	4 star (>4 but <= 4.5 L/min)	4 star	4 star	4 star
ENERGY	Hot water system: Gas instantaneous with a performance of 5 stars			
	Bathroom ventilation system: Individual fan, ducted to façade or roof; manual switch on/off			
	Kitchen ventilation system: Individual fan, ducted to façade or roof; manual switch on/off			
	Laundry ventilation system: Individual fan, ducted to façade or roof; manual switch on/off			
	Cooling system: 1 Phase air-conditioning EER 3.0 - 3.5 in at least 1 living/bed area (zoned)			
	Heating system: 1 Phase air-conditioning EER 3.0 - 3.5 in at least 1 living/bed area (zoned)			
Natural lighting: As per BASIX				
Artificial lighting: As per BASIX				
Must install a gas cooktop and electric oven.				
Must install fixed outdoor clothes drying line as part of the development.				

- CONSTRUCTION MATERIALS NOTES (BASIX):**
- GROUND FLOOR:**
- Ground Floor Construction - Reinforced Concrete Floor (Tiled finish)
 - External Walls - AFS 120mm LogicWALL with steel stud frame lined with plasterboard
 - External walls with facebrick finish - 250mm brick veneer wall - 110mm brick to external side, steel stud lined with plasterboard to interior
 - Internal Walls - Steel stud framed lined with plasterboard
 - Party Walls - 2 x 120mm thick AFS Logicwall concrete with 50mm discontinuous air gap in between on lot boundary, lined with plasterboard on both faces
- FIRST FLOOR:**
- First Floor Construction - Reinforced Concrete Floor (Carpet finish thorough. Bathrooms to have tiled finish)
 - External Walls - AFS 120mm LogicWALL with steel stud frame lined with plasterboard
 - External walls with facebrick finish - 250mm brick veneer wall - 110mm brick to external side, steel stud lined with plasterboard to interior
 - Internal Walls - Steel stud framed lined with plasterboard
 - Party Walls - 2 x 120mm thick AFS Logicwall concrete with 50mm discontinuous air gap in between on lot boundary, lined with plasterboard on both faces
- ATTIC LEVEL:**
- Attic Floor Construction - Timber Floor with carpet over
 - External Walls - Cladding on Timber stud battens line dwth plasterboard internally
 - Party Walls - 2 x 120mm thick AFS Logicwall concrete with 50mm discontinuous air gap in between on lot boundary, lined with plasterboard on both faces
- OTHER:**
- Gas Cooktop & Electric Oven
 - Gas Instantaneous hot water system with solar panels

ARCHITECTURAL - GENERAL NOTES

A1 All dimensions are to be confirmed on site by the builder/subcontractor, any incongruities must be reported to the Architect before commencement of any work

A2 The Builder/subcontractor will be held responsible for any construction details which have not been approved by the Architect.

A3 In the event of encountering any discrepancies on these drawings, specification or subsequent instructions issued, the Builder/Subcontractor shall contact the Architect before proceeding further with any work.

A4 The Builder/Subcontractor will be held responsible for the watertightness of the whole building for a minimum period of two years after the date of practical completion.

A5 It is the contractor's responsibility to have all Architectural & Structural documentation, including all site instructions any details issued during the course of construction, approved by the relevant authorities including the local Council & the Water Board before any work may be proceeded with.

A6 All construction, control joints and expansion joints in the wall, floors, & other locations shall be in strict accordance with Architectural and/or Structural Engineering details. No joints or breaks other than specified, are allowed without written permission from the Architect and/or Engineer.

A7 Measurements for the fabrication of secondary components such as windows, doors, internal frames, structural steel components and the like, are not to be taken from these documents. Measurements must be taken on site to suit the work as constructed.

A8 All structural components shall be in strict accordance to details and specifications as prepared by a structural engineer, and those details from part of the total specification.

A9 All existing structures need to be examined for structural adequacy, and it is the Contractor's responsibility to ensure that a certificate of structural adequacy is available prior to the start of any work.

A10 No construction work shall commence until a site survey has been completed. This work must be performed by a registered Surveyor.

A11 Foundation set-out, to be performed by the Surveyor mentioned in A10 and recovery pegs must be protected during construction.

A12 All timber work is to comply with the requirements of the Light Timber Framing, Code S.A.A. Codes and Structural Engineer's details and specification.

A13 Copyrights of all documentation and designs relating to both Architectural and Structural Engineering, are retained by this office. Written authority is required for any reproduction.

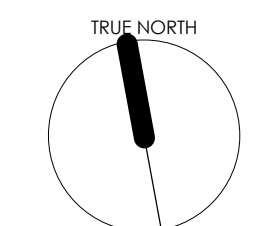
A14 All Architectural documentation to be read in conjunction with the Structural Engineer's details and specification.

IMPORTANT NOTE

It is the Tenderer's & Contractor's responsibility to check that all Architectural, Structural and all other job related documentation have been received before tendering and/or construction may commence. Should there be any doubt to the availability of such documents the Architect should be notified before further details be needed, the tenderer and/or Contractor shall obtain such details before signing of contract documents. Failure to adhere to these conditions, the tenderer and/or Contractor nullifies any right or claim for extras, due to interpretation of documentation, and the Architect's &/or Engineer's direction shall be carried out at no extra cost.

DRAWN	DATE	ISSUE	AMENDMENT
JT	04.07.2022	A	ISSUE FOR PRE DA
CK	18.10.2022	B	ISSUE FOR DA
CK	16.08.2023	C	ISSUE FOR DA - DRAWINGS AMENDED IN RELATION TO COUNCIL REF LETTER DATED 27 APRIL 2023

IMPORTANT NOTE
THESE DRAWINGS HAVE BEEN ISSUED FOR DEVELOPMENT APPLICATION PURPOSES ONLY. THEY ARE NOT ISSUED FOR CONSTRUCTION OR CONSTRUCTION CERTIFICATE OR FOR THE PURPOSES OF PRICING BY ANY CONTRACTOR



Katris Architects Pty

Level 1, Suite 2, 28-30 Burwood Road, Burwood NSW
 PO Box 703 Burwood 1805 NSW
 ABN 79 001 639 970

PROJECT: PROPOSED SUBDIVISION INTO 3 LOTS AND THE PROPOSAL OF X3 SINGLE DWELLINGS ON EACH ALLOTMENT

CLIENT: PELK Pty Ltd

DRAWN: JT

DATE: 21.08.2023

TITLE: LEVEL 1

ARCHITECTS APPROVAL: CK

SCALE: 1:100

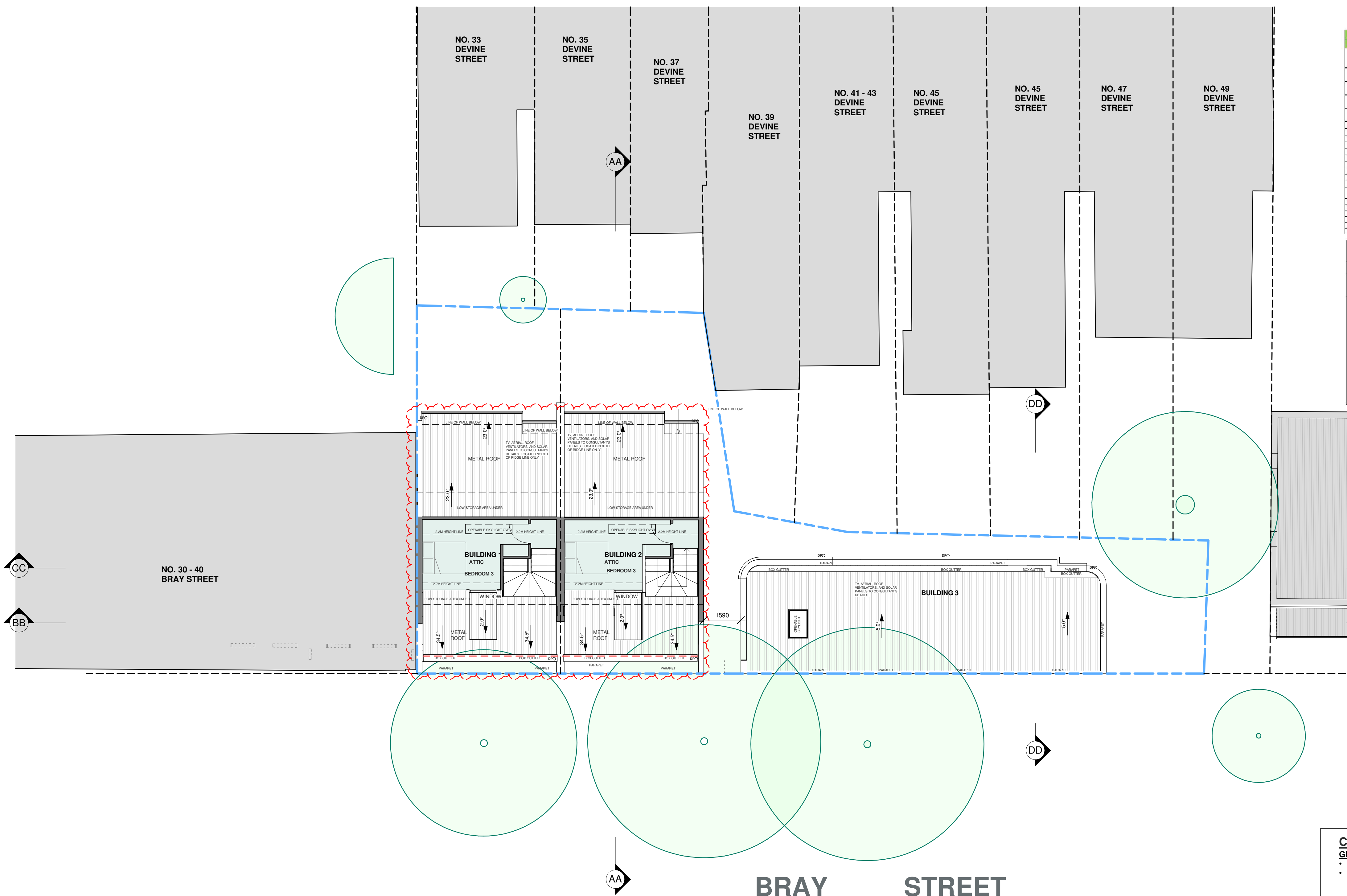
DRAWING NO: A003

JOB NO: 1467-22

ISSUE: C

p 02 9744
 f 02 9747 5046
 www.katris.com.

Nominated Architects Chris Katris (Reg 9724), Nick Katris (Reg 3878), Peter Katris (Reg 9724)



1 Proposed Attic Level
A004 1 : 100

NATHERS summary for 50 Bray Street ERSKINEVILLE NSW 2043		
Building Elements	Material	Detail
External walls	100mm Concrete + furring channel + plasterboard	R2.5 bulk insulation
	Brick Veneer	Vapour barrier + R2.5 bulk insulation
Internal walls	FC cladding	Vapour barrier + R2.5 bulk insulation
	Plasterboard on studs	R2.5 internal wall equivalent to roof space
	Cavity concrete plasterboard lined (Party Wall)	2 x R2.5 bulk insulation
ceilings	Plasterboard	R2.0 bulk insulation to ceilings, with roof above
	Plasterboard	R2.0 bulk insulation to ceilings, with roof above
Floors	Concrete	Between first floor and attic
	Timber	Between first floor and attic
Floor finishes	- Ground floor and wet areas - tiled	-
	First floor and attic - carpet	-
Roof	Coloured Light	55mm antiseek blanket

BASIX COMMITMENTS NOTES				
REFER TO APPROVED BASIX REPORT				
WATER	All Shower Heads	All toilet flushing systems	All kitchen taps	All bathroom taps
	4 star (>4 but <= 4.5 L/min)	4 star	4 star	4 star
ENERGY	Hot water system: Gas instantaneous with a performance of 5 stars			
	Bathroom ventilation system: Individual fan, ducted to façade or roof; manual switch on/off			
	Kitchen ventilation system: Individual fan, ducted to façade or roof; manual switch on/off			
	Laundry ventilation system: Individual fan, ducted to façade or roof; manual switch on/off			
	Cooling system: 1 Phase air-conditioning EER 3.0 - 3.5 in at least 1 living/bed area (zoned)			
	Heating system: 1 Phase air-conditioning EER 3.0 - 3.5 in at least 1 living/bed area (zoned)			
Natural lighting: As per BASIX				
Artificial lighting: As per BASIX				
Must install a gas cooktop and electric oven.				
Must install fixed outdoor clothes drying line as part of the development.				

- CONSTRUCTION MATERIALS NOTES (BASIX):**
- GROUND FLOOR:**
- Ground Floor Construction - Reinforced Concrete Floor (Tiled finish)
 - External Walls - AFS 120mm LogicWALL with steel stud frame lined with plasterboard
 - External walls with facebrick finish - 250mm brick veneer wall - 110mm brick to external side, steel stud lined with plasterboard to interior
 - Internal Walls - Steel stud framed lined with plasterboard
 - Party Walls - 2 x 120mm thick AFS Logicwall concrete with 50mm discontinuous air gap in between on lot boundary, lined with plasterboard on both faces
- FIRST FLOOR:**
- First Floor Construction - Reinforced Concrete Floor (Carpet finish thorough. Bathrooms to have tiled finish)
 - External Walls - AFS 120mm LogicWALL with steel stud frame lined with plasterboard
 - External walls with facebrick finish - 250mm brick veneer wall - 110mm brick to external side, steel stud lined with plasterboard to interior
 - Internal Walls - Steel stud framed lined with plasterboard
 - Party Walls - 2 x 120mm thick AFS Logicwall concrete with 50mm discontinuous air gap in between on lot boundary, lined with plasterboard on both faces
- ATTIC LEVEL:**
- Attic Floor Construction - Timber Floor with carpet over
 - External Walls - Cladding on Timber stud battens line dwith plasterboard internally
 - Party Walls - 2 x 120mm thick AFS Logicwall concrete with 50mm discontinuous air gap in between on lot boundary, lined with plasterboard on both faces
- OTHER:**
- Gas Cooktop & Electric Oven
 - Gas Instantaneous hot water system with solar panels

ARCHITECTURAL - GENERAL NOTES

A1 All dimensions are to be confirmed on site by the builder/subcontractor, any incongruities must be reported to the Architect before commencement of any work

A2 The Builder/subcontractor will be held responsible for any construction details which have not been approved by the Architect.

A3 In the event of encountering any discrepancies on these drawings, specification or subsequent instructions issued, the Builder/Subcontractor shall contact the Architect before proceeding further with any work.

A4 The Builder/Subcontractor will be held responsible for the watertightness of the whole building for a minimum period of two years after the date of practical completion.

A5 It is the contractor's responsibility to have all Architectural & Structural documentation, including all site instructions any details issued during the course of construction, approved by the relevant authorities including the local Council & the Water Board before any work may be proceeded with.

A6 All construction, control joints and expansion joints in the wall, floors, & other locations shall be in strict accordance with Architectural and/or Structural Engineering details. No joints or breaks other than specified, are allowed without written permission from the Architect and/or Engineer.

A7 Measurements for the fabrication of secondary components such as windows, doors, internal frames, structural steel components and the like, are not to be taken from these documents. Measurements must be taken on site to suit the work as constructed.

A8 All structural components shall be in strict accordance to details and specifications as prepared by a structural engineer, and those details from part of the total specification.

A9 All existing structures need to be examined for structural adequacy, and it is the Contractor's responsibility to ensure that a certificate of structural adequacy is available prior to the start of any work.

A10 No construction work shall commence until a site survey has been completed. This work must be performed by a registered Surveyor.

A11 Foundation set-out, to be performed by the Surveyor mentioned in A10 and recovery pegs must be protected during construction.

A12 All timber work is to comply with the requirements of the Light Timber Framing Code S.A.A. Codes and Structural Engineer's details and specification.

A13 Copyrights of all documentation and designs relating to both Architectural and Structural Engineering, are retained by this office. Written authority is required for any reproduction.

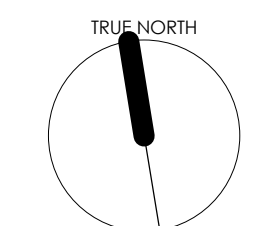
A14 All Architectural documentation to be read in conjunction with the Structural Engineer's details and specification.

IMPORTANT NOTE

It is the Tenderer's & Contractor's responsibility to check that all Architectural, Structural and all other job related documentation have been received before tendering and/or construction may commence. Should there be any doubt to the availability of such documents the Architect should be notified before further details be needed, the tenderer and/or Contractor shall obtain such details before signing of contract documents. Failure to adhere to these conditions, the tenderer and/or Contractor nullifies any right or claim for extras, due to interpretation of documentation, and the Architect's &/or Engineer's direction shall be carried out at no extra cost.

DRAWN	DATE	ISSUE	AMENDMENT
JT	04.07.2022	A	ISSUE FOR PHE DA
CK	18.10.2022	B	ISSUE FOR DA
CK	16.08.2023	C	ISSUE FOR DA - DRAWINGS AMENDED IN RELATION TO COUNCIL RFI LETTER DATED 27 APRIL 2023

IMPORTANT NOTE
THESE DRAWINGS HAVE BEEN ISSUED FOR DEVELOPMENT APPLICATION PURPOSES ONLY. THEY ARE NOT ISSUED FOR CONSTRUCTION OR CONSTRUCTION CERTIFICATE OR FOR THE PURPOSES OF PRICING BY ANY CONTRACTOR



Katris Architects Pty

Level 1, Suite 2, 28-30 Burwood Road, Burwood NSW
 PO Box 703 Burwood 1805 NSW
 ABN 79 001 639 970

p 02 9744
 f 02 9747 5046
 www.katris.com.

PROJECT
PROPOSED SUBDIVISION INTO 3 LOTS AND THE PROPOSAL OF X3 SINGLE DWELLINGS ON EACH ALLOTMENT

50 BRAY STREET, ERSKINEVILLE

TITLE
ATTIC PLAN

CLIENT
PELK Pty Ltd

DRAWN
JT

DATE
21.08.2023

ARCHITECTS APPROVAL
CK

SCALE @ A3
1:100

JOB NO.
1467-22

DRAWING NO.
A004

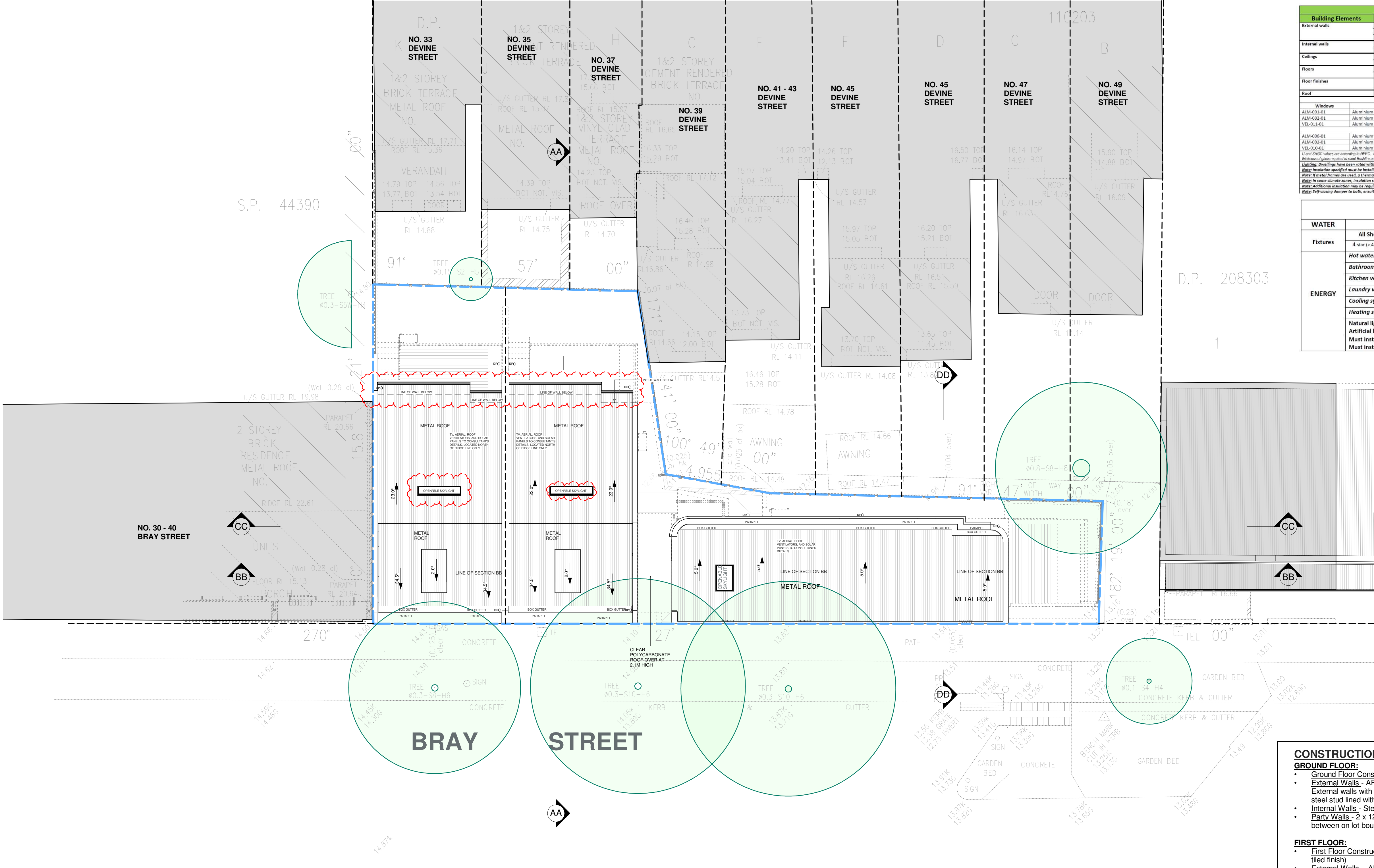
ISSUE
C

Nominated Architects Chris Katris (Reg 9724), Nick Katris (Reg 3878), Peter Katris (Reg 9724)

NATHERS summary for 50 Bray Street ERSKINEVILLE NSW 2043		
Building Elements	Material	Detail
External walls	100mm Concrete + furring channel + plasterboard Brick Veneer	R2.5 bulk insulation Vapour barrier + R2.5 bulk insulation
Internal walls	FC cladding Plasterboard on studs Cavity concrete plasterboard lined (Party Wall)	R2.5 internal wall equivalent to roof joists 2 x R2.5 bulk insulation R2.0 bulk insulation to ceilings, with roof above.
Ceilings	Plasterboard	
Floors	Concrete	
Floor finishes	Timber Ground floor and wet areas - tiled First floor and attic - carpet	Between first floor and attic -
Roof	Coloured Light	35mm antiseek blanket

BASIC COMMITMENTS NOTES				
REFER TO APPROVED BASIX REPORT				
WATER	All Shower Heads	All toilet flushing systems	All kitchen taps	All bathroom taps
	4 star (4 but <= 4.5 L/min)	4 star	4 star	4 star
ENERGY	Hot water system: Gas instantaneous with a performance of 5 stars			
	Bathroom ventilation system: Individual fan, ducted to façade or roof; manual switch on/off			
	Kitchen ventilation system: Individual fan, ducted to façade or roof; manual switch on/off			
	Laundry ventilation system: Individual fan, ducted to façade or roof; manual switch on/off			
	Cooling system: 1 Phase air-conditioning EER 3.0 - 3.5 in at least 1 living/bed area (zoned)			
Heating system: 1 Phase air-conditioning EER 3.0 - 3.5 in at least 1 living/bed area (zoned)				
Natural lighting: As per BASIX				
Artificial lighting: As per BASIX				
Must install a gas cooktop and electric oven.				
Must install fixed outdoor clothes drying line as part of the development.				

CONSTRUCTION MATERIALS NOTES (BASIX):	
GROUND FLOOR:	
•	Ground Floor Construction - Reinforced Concrete Floor (Tiled finish)
•	External Walls - AFS 120mm LogicWALL with steel stud frame lined with plasterboard
•	External walls with facebrick finish - 250mm brick veneer wall - 110mm brick to external side, steel stud lined with plasterboard to interior
•	Internal Walls - Steel stud framed lined with plasterboard
•	Party Walls - 2 x 120mm thick AFS Logicwall concrete with 50mm discontinuous air gap in between on lot boundary, lined with plasterboard on both faces
FIRST FLOOR:	
•	First Floor Construction - Reinforced Concrete Floor (Carpet finish thorough. Bathrooms to have tiled finish)
•	External Walls - AFS 120mm LogicWALL with steel stud frame lined with plasterboard
•	External walls with facebrick finish - 250mm brick veneer wall - 110mm brick to external side, steel stud lined with plasterboard to interior
•	Internal Walls - Steel stud framed lined with plasterboard
•	Party Walls - 2 x 120mm thick AFS Logicwall concrete with 50mm discontinuous air gap in between on lot boundary, lined with plasterboard on both faces
ATTIC LEVEL:	
•	Attic Floor Construction - Timber Floor with carpet over
•	External Walls - Cladding on Timber stud battens line dwith plasterboard internally
•	Party Walls - 2 x 120mm thick AFS Logicwall concrete with 50mm discontinuous air gap in between on lot boundary, lined with plasterboard on both faces
OTHER:	
•	Gas Cooktop & Electric Oven
•	Gas Instantaneous hot water system with solar panels



1 Proposed Roof Plan
A005 1:100

ARCHITECTURAL - GENERAL NOTES

A1 All dimensions are to be confirmed on site by the builder/subcontractor, any incongruities must be reported to the Architect before commencement of any work.

A2 The Builder/subcontractor will be held responsible for any construction details which have not been approved by the Architect.

A3 In the event of encountering any discrepancies on these drawings, specification or subsequent instructions issued, the Builder/Subcontractor shall contact the Architect before proceeding further with any work.

A4 The Builder/Subcontractor will be held responsible for the watertightness of the whole building for a minimum period of two years after the date of practical completion.

A5 It is the contractor's responsibility to have all Architectural & Structural documentation, including all site instructions any details issued during the course of construction, approved by the relevant authorities including the local Council & the Water Board before any work may be proceeded with.

A6 All construction, control joints and expansion joints in the wall, floors, & other locations shall be in strict accordance with Architectural and/or Structural Engineering details. No joints or breaks other than specified, are allowed without written permission from the Architect and/or Engineer.

A7 Measurements for the fabrication of secondary components such as windows, doors, internal frames, structural steel components and the like, are not to be taken from these documents. Measurements must be taken on site to suit the work as constructed.

A8 All structural components shall be in strict accordance to details and specifications as prepared by a structural engineer, and those details from part of the total specification.

A9 All existing structures need to be examined for structural adequacy, and it is the Contractor's responsibility to ensure that a certificate of structural adequacy is available prior to the start of any work.

A10 No construction work shall commence until a site survey has been completed. This work must be performed by a registered Surveyor.

A11 Foundation set-out, to be performed by the Surveyor mentioned in A10 and recovery pegs must be protected during construction.

A12 All timber work is to comply with the requirements of the Light Timber Framing Code S.A.A. Codes and Structural Engineer's details and specification.

A13 Copyrights of all documentation and designs relating to both Architectural and Structural Engineering, are retained by this office. Written authority is required for any reproduction.

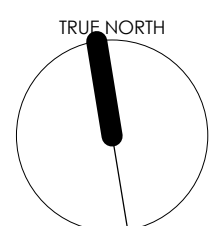
A14 All Architectural documentation to be read in conjunction with the Structural Engineer's details and specification.

IMPORTANT NOTE

It is the Tenderer's & Contractor's responsibility to check that all Architectural, Structural and all other job related documentation's have been received before tendering and/or construction may commence. Should there be any doubt to the availability of such documents the Architect should be notified before further details be needed, the tenderer and/or Contractor shall obtain such details before signing of contract documents. Failure to adhere to these conditions, the Tenderer and/or Contractor nullifies any right or claim for extras, due to interpretation of documentation, and the Architect's &/or Engineer's direction shall be carried out at no extra cost.

DRAWN	DATE	ISSUE	AMENDMENT
JT	04.07.2022	A	ISSUE FOR PHE DA
CK	18.10.2022	B	ISSUE FOR DA
CK	16.08.2023	C	ISSUE FOR DA - DRAWINGS AMENDED IN RELATION TO COUNCIL RFI LETTER DATED 27 APRIL 2023

IMPORTANT NOTE
THESE DRAWINGS HAVE BEEN ISSUED FOR DEVELOPMENT APPLICATION PURPOSES ONLY. THEY ARE NOT ISSUED FOR CONSTRUCTION OR CONSTRUCTION CERTIFICATE OR FOR THE PURPOSES OF PRICING BY ANY CONTRACTOR



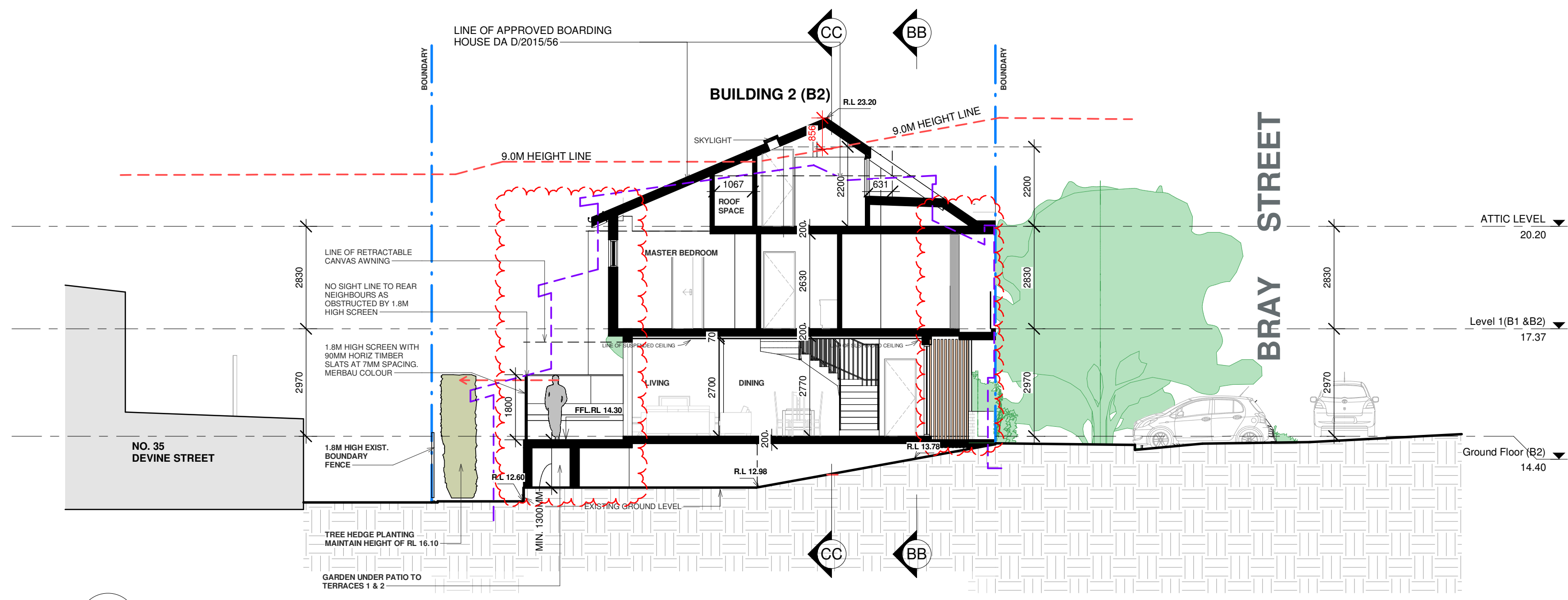
Katris Architects Pty
Level 1, Suite 2, 28-30 Burwood Road, Burwood NSW
PO Box 703 Burwood 1805 NSW
ABN 79 001 639 970

PROJECT: PROPOSED SUBDIVISION INTO 3 LOTS AND THE PROPOSAL OF X3 SINGLE DWELLINGS ON EACH ALLOTMENT
CLIENT: PELK Pty Ltd
DRAWN: JT
DATE: 21.08.2023
SCALE: @ A3 1:100
ARCHITECTS APPROVAL: CK
JOB No.: 1467-22
DRAWING No.: A005
ISSUE: C

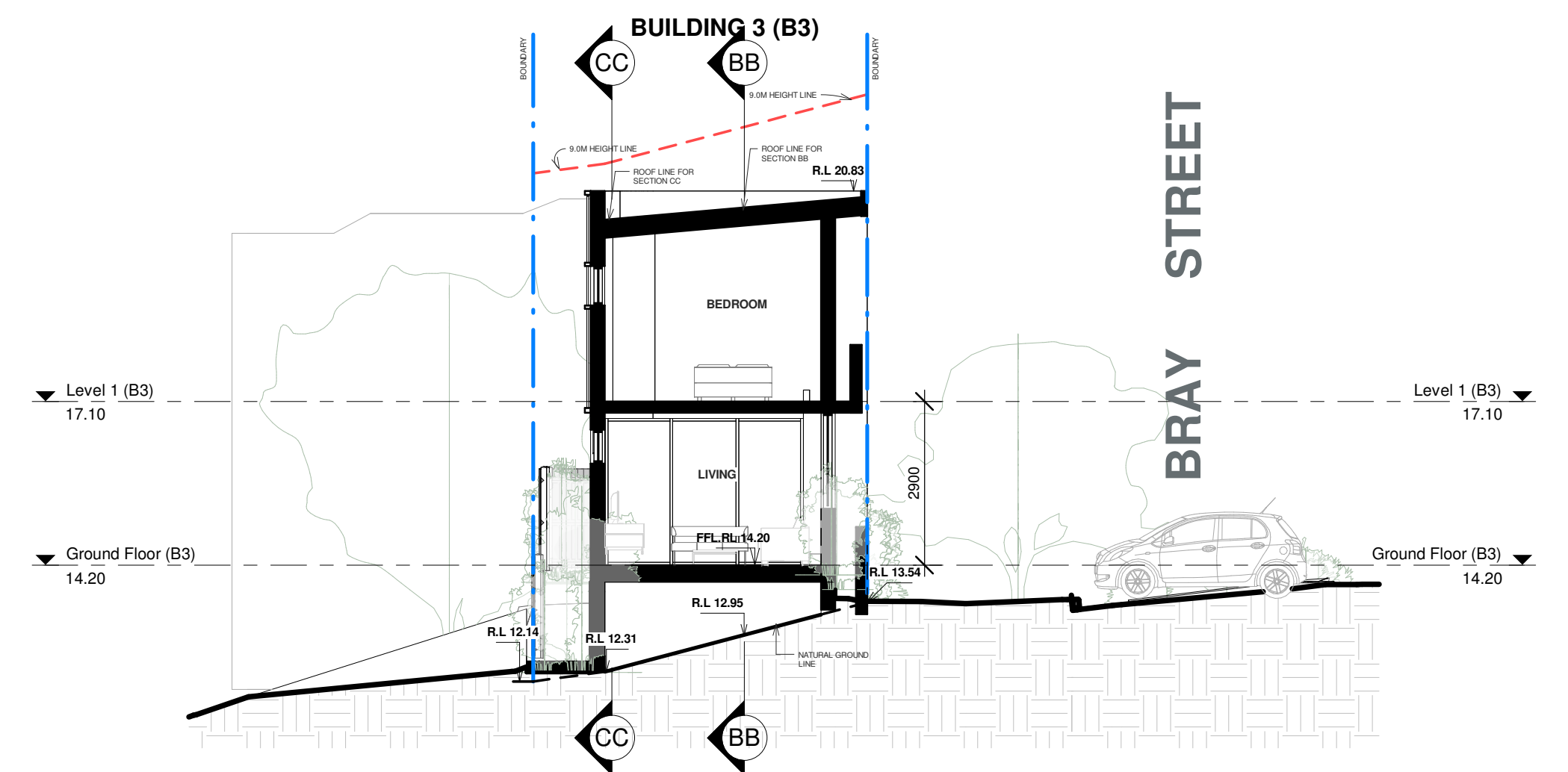
02 9744
02 9747 5046
www.katris.com

Nominated Architects Chris Katris (Reg 9724), Nick Katris (Reg 3878), Peter Katris (Reg 9724)

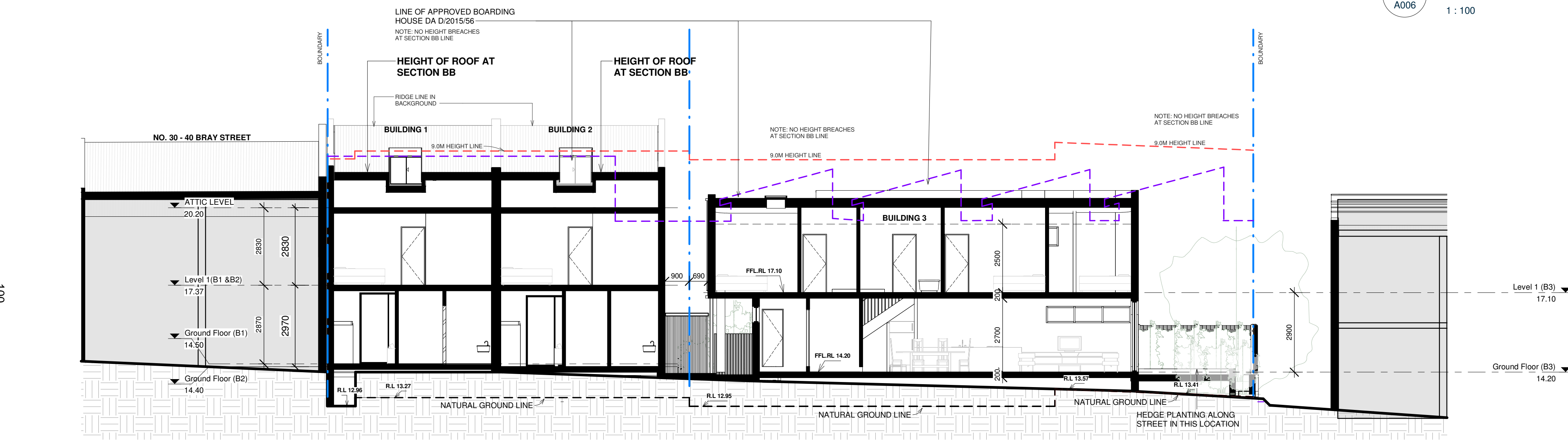




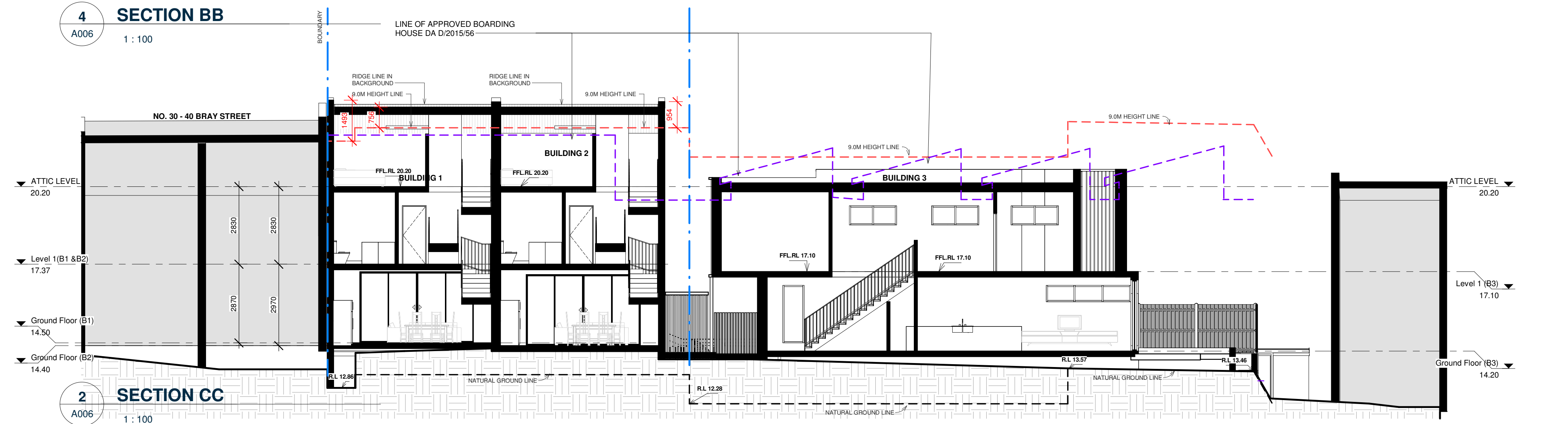
1 SECTION AA
A006 1 : 100



3 SECTION DD
A006 1 : 100



4 SECTION BB
A006 1 : 100



2 SECTION CC
A006 1 : 100

NATHERS summary for 50 Bray Street ERSKINEVILLE NSW 2043			
Building Elements	Material	Detail	
External walls	100mm Concrete + furring channel + plasterboard Brick Veneer	R2.5 bulk insulation Vapour barrier + R2.5 bulk insulation	
Internal walls	Plasterboard on studs	Vapour barrier + R2.5 bulk insulation R2.5 internal walls adjacent to roof space	
Ceilings	Plasterboard	R2.5 bulk insulation to ceilings, with roof above	
Floors	Concrete Timber	Between first floor and attic	
Floor finishes	- Ground floor and wet areas - tiled - First floor and attic - carpet	-	
Roof	Colorbond (Light)	55mm outdoor blanket	

BASIX COMMITMENTS NOTES				
REFER TO APPROVED BASIX REPORT				
WATER	All Shower Heads	All toilet flushing systems	All kitchen taps	All bathroom taps
	4 star (+4 but <= 4.5 L/min)	4 star	4 star	4 star
	Hot water system: Gas instantaneous with a performance of 5 stars			
	Bathroom ventilation system: Individual fan, ducted to façade or roof; manual switch on/off			
ENERGY	Kitchen ventilation system: Individual fan, ducted to façade or roof; manual switch on/off			
	Laundry ventilation system: Individual fan, ducted to façade or roof; manual switch on/off			
	Cooling system: 1 Phase air-conditioning EER 3.0 - 3.5 in at least 1 living/bed area (zoned)			
	Heating system: 1 Phase air-conditioning EER 3.0 - 3.5 in at least 1 living/bed area (zoned)			
	Natural lighting: As per BASIX Artificial lighting: As per BASIX Must install a gas cooktop and electric oven. Must install fixed outdoor clothes drying line as part of the development.			

- CONSTRUCTION MATERIALS NOTES (BASIX):**
- GROUND FLOOR:**
- Ground Floor Construction - Reinforced Concrete Floor (Tiled finish)
 - External Walls - AFS 120mm LogicWALL with steel stud frame lined with plasterboard
 - External walls with facebrick finish - 250mm brick veneer wall - 110mm brick to external side, steel stud lined with plasterboard to interior
 - Internal Walls - Steel stud framed lined with plasterboard
 - Party Walls - 2 x 120mm thick AFS Logicwall concrete with 50mm discontinuous air gap in between on lot boundary, lined with plasterboard on both faces
- FIRST FLOOR:**
- First Floor Construction - Reinforced Concrete Floor (Carpet finish thorough. Bathrooms to have tiled finish)
 - External Walls - AFS 120mm LogicWALL with steel stud frame lined with plasterboard
 - External walls with facebrick finish - 250mm brick veneer wall - 110mm brick to external side, steel stud lined with plasterboard to interior
 - Internal Walls - Steel stud framed lined with plasterboard
 - Party Walls - 2 x 120mm thick AFS Logicwall concrete with 50mm discontinuous air gap in between on lot boundary, lined with plasterboard on both faces
- ATTIC LEVEL:**
- Attic Floor Construction - Timber Floor with carpet over
 - External Walls - Cladding on Timber stud battens line with plasterboard internally
 - Party Walls - 2 x 120mm thick AFS Logicwall concrete with 50mm discontinuous air gap in between on lot boundary, lined with plasterboard on both faces
- OTHER:**
- Gas Cooktop & Electric Oven
 - Gas Instantaneous hot water system with solar panels

ARCHITECTURAL - GENERAL NOTES

A1 All dimensions are to be confirmed on site by the builder/subcontractor, any incongruities must be reported to the Architect before commencement of any work.

A2 The Builder/subcontractor will be held responsible for any construction details which have not been approved by the Architect.

A3 In the event of encountering any discrepancies on these drawings, specification or subsequent instructions issued, the Builder/Subcontractor shall contact the Architect before proceeding further with any work.

A4 The Builder/Subcontractor will be held responsible for the waterlightness of the whole building for a minimum period of two years after the date of practical completion.

A5 It is the contractor's responsibility to have all Architectural & Structural documentation, including all site instructions any details issued during the course of construction, approved by the relevant authorities including the local Council & the Water Board before any work may be proceeded with.

A6 All construction, control joints and expansion joints in the wall, floors, & other locations shall be in strict accordance with Architectural and/or Structural Engineering details. No joints or breaks other than specified, are allowed without written permission from the Architect and/or Engineer.

A7 Measurements for the fabrication of secondary components such as windows, doors, internal frames, structural steel components and the like, are not to be taken from these documents. Measurements must be taken on site to suit the work as constructed.

A8 All structural components shall be in strict accordance to details and specifications as prepared by a structural engineer, and those details from part of the total specification.

A9 All existing structures to be examined for structural adequacy, and it is the Contractor's responsibility to ensure that a certificate of structural adequacy is available prior to the start of any work.

A10 No construction work shall commence until a site survey has been completed. This work must be performed by a registered Surveyor.

A11 Foundation set-out, to be performed by the Surveyor mentioned in A10 and recovery pegs must be protected during construction.

A12 All timber work is to comply with the requirements of the Light Timber Framing Code S.A.A. Codes and Structural Engineer's details and specification.

A13 Copyrights of all documentation and designs relating to both Architectural and Structural Engineering, are retained by this office. Written authority is required for any reproduction.

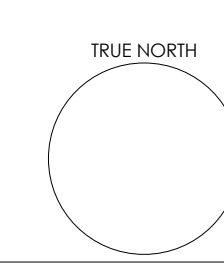
A14 All Architectural documentation to be read in conjunction with the Structural Engineer's details and specification.

IMPORTANT NOTE

It is the Tenderer's & Contractor's responsibility to check that all Architectural, Structural and all other job related documentation has been received before tendering and/or construction may commence. Should there be any doubt to the availability of such documents the Architect should be notified before further details be needed, the tenderer and/or Contractor shall obtain such details before signing of contract documents. Failure to adhere to these conditions, the tenderer and/or Contractor nullifies any right or claim for extras, due to interpretation of documentation, and the Architect's &/or Engineer's direction shall be carried out at no extra cost.

DRAWN	DATE	ISSUE	AMENDMENT
JT	04.07.2022	A	ISSUE FOR PRE DA
CK	18.10.2022	B	ISSUE FOR DA
CK	16.08.2023	C	ISSUE FOR DA - DRAWINGS AMENDED IN RELATION TO COUNCIL REF LETTER DATED 27 APRIL 2023

IMPORTANT NOTE
THESE DRAWINGS HAVE BEEN ISSUED FOR DEVELOPMENT APPLICATION PURPOSES ONLY. THEY ARE NOT ISSUED FOR CONSTRUCTION OR CONSTRUCTION CERTIFICATE OR FOR THE PURPOSES OF PRICING BY ANY CONTRACTOR



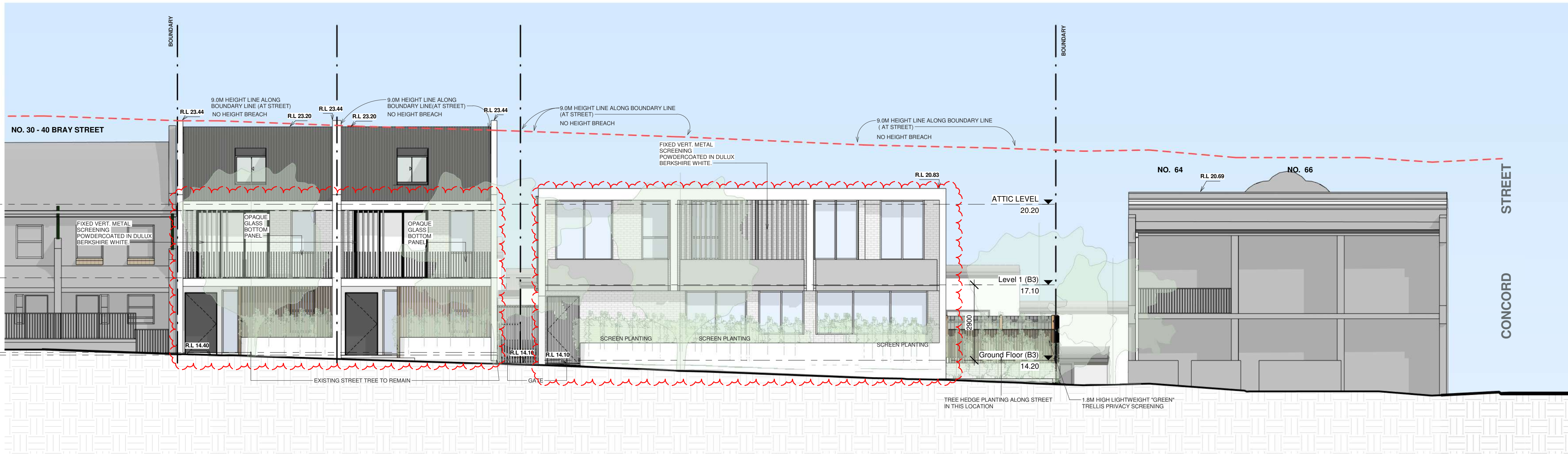
Katris Architects Pty
Level 1, Suite 2, 28-30 Burwood Road, Burwood NSW
PO Box 703 Burwood 1805 NSW
ABN 79 001 639 970

PROJECT: PROPOSED SUBDIVISION INTO 3 LOTS AND THE PROPOSAL OF X3 SINGLE DWELLINGS ON EACH ALLOTMENT
CLIENT: PELK Pty Ltd
DRAWN: JT
DATE: 21.08.2023

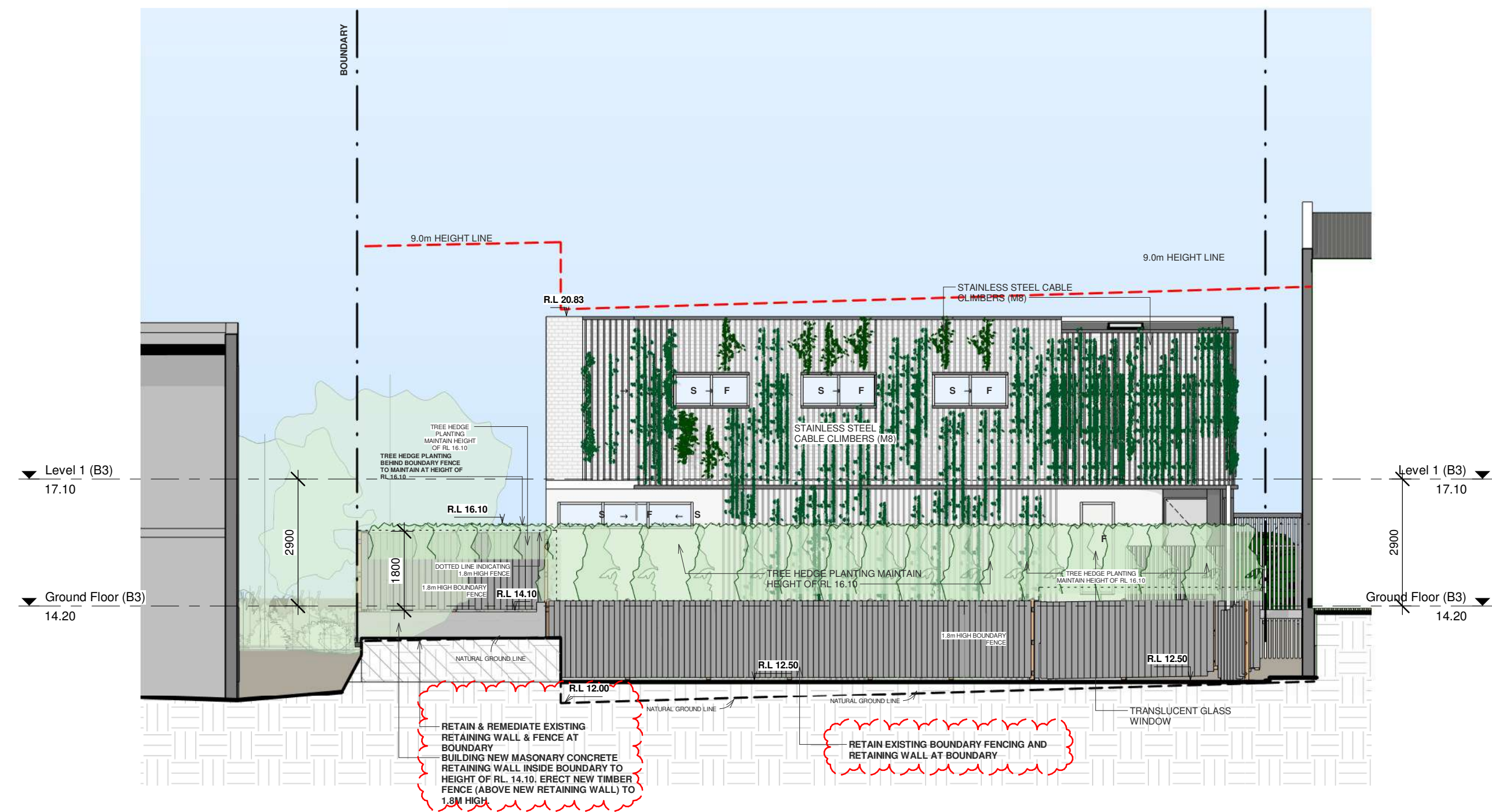
ARCHITECTS APPROVAL: CK
SCALE: @ A3 1:100
DRAWING NO: A006

JOB NO: 1467-22
ISSUE: C

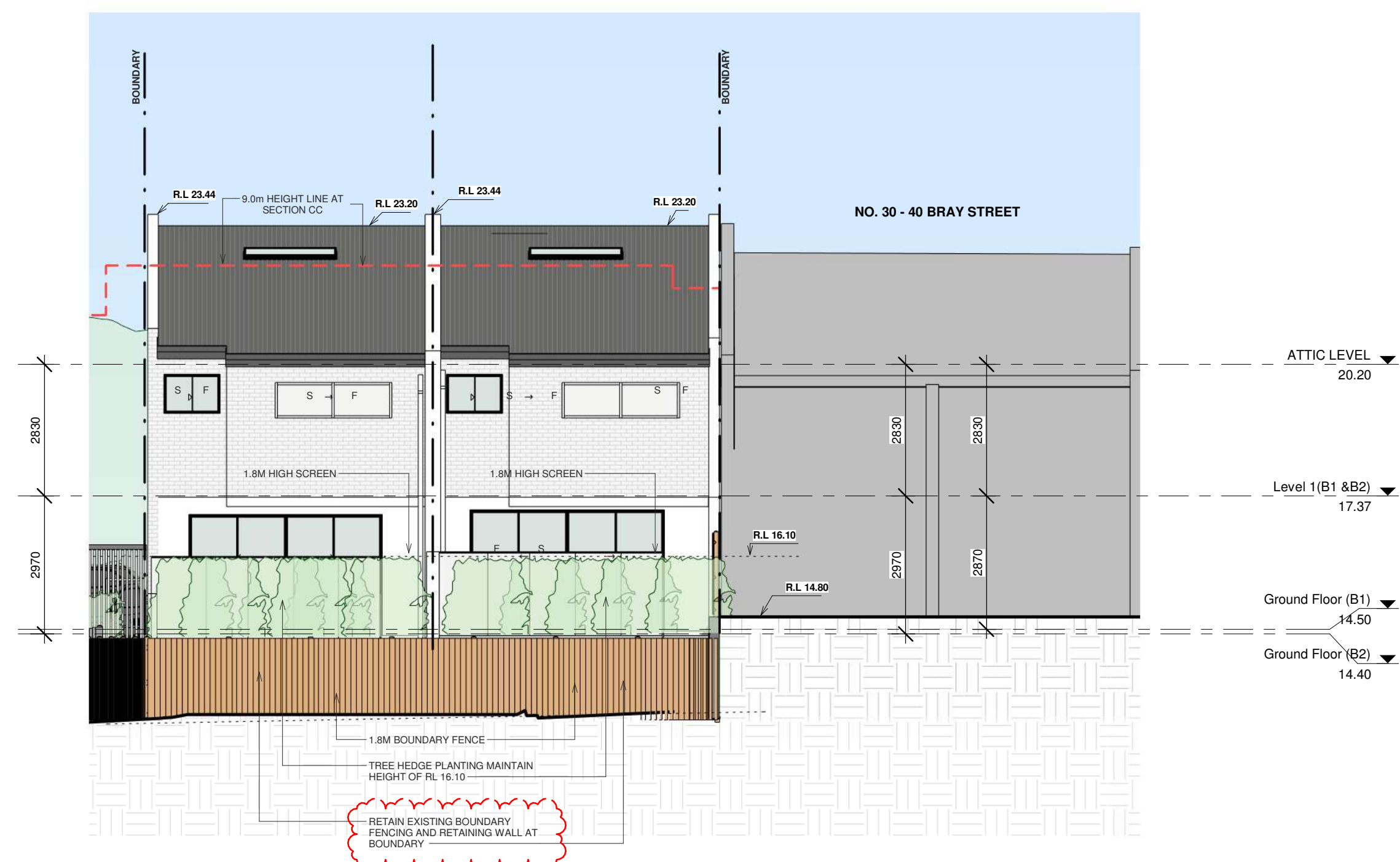
Nominated Architects Chris Katris (Reg 9724), Nick Katris (Reg 3878), Peter Katris (Reg 02 9744)
f 02 9747 5046
www.katris.com



1 SOUTH ELEVATION (Along Bray Street)
A007 1 : 100



3 NORTH ELEVATION (BUILDING 3)
A007 1 : 100



2 NORTH ELEVATION (BUILDING 1 & 2)
A007 1 : 100

101

ARCHITECTURAL - GENERAL NOTES

A1 All dimensions are to be confirmed on site by the builder/subcontractor, any incongruities must be reported to the Architect before commencement of any work.

A2 The Builder/subcontractor will be held responsible for any construction details which have not been approved by the Architect.

A3 In the event of encountering any discrepancies on these drawings, specification or subsequent instructions issued, the Builder/Subcontractor shall contact the Architect before proceeding further with any work.

A4 The Builder/Subcontractor will be held responsible for the watertightness of the whole building for a minimum period of two years after the date of practical completion.

A5 It is the contractor's responsibility to have all Architectural & Structural documentation, including all site instructions any details issued during the course of construction, approved by the relevant authorities including the local Council & the Water Board before any work may be proceeded with.

A6 All construction, control joints and expansion joints in the wall, floors, & other locations shall be in strict accordance with Architectural and/or Structural Engineering details. No joints or breaks other than specified, are allowed without written permission from the architect and/or Engineer.

A7 Measurements for the fabrication of secondary components such as windows, doors, internal frames, structural steel components and the like, are not to be taken from these documents. Measurements must be taken on site to suit the work as constructed.

A8 All structural components shall be in strict accordance to details and specifications as prepared by a structural engineer, and those details from part of the total specification.

A9 All existing structures need to be examined for structural adequacy, and it is the Contractor's responsibility to ensure that a certificate of structural adequacy is available prior to the start of any work.

A10 No construction work shall commence until a site survey has been completed. This work must be performed by a registered Surveyor.

A11 Foundation set-out, to be performed by the Surveyor mentioned in A10 and recovery pegs must be protected during construction.

A12 All timber work is to comply with the requirements of the Light Timber Framing Code S.A.A. Codes and Structural Engineer's details and specification.

A13 Copyrights of all documentation and designs relating to both Architectural and Structural Engineering, are retained by this office. Written authority is required for any reproduction.

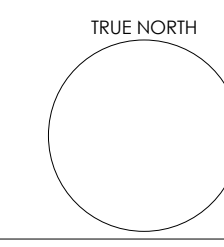
A14 All Architectural documentation to be read in conjunction with the Structural Engineer's details and specification.


IMPORTANT NOTE

It is the Tenderer's & Contractor's responsibility to check that all Architectural, Structural and all other job related documentation have been received before tendering and/or construction may commence. Should there be any doubt to the availability of such documents the Architect should be notified before further details be needed, the tenderer and/or Contractor shall obtain such details before signing of contract documents. Failure to adhere to these conditions, the Tenderer and/or Contractor nullifies any right or claim for extras, due to interpretation of documentation, and the Architect's &/or Engineer's direction shall be carried out at no extra cost.

DRAWN	DATE	ISSUE	AMENDMENT
JT	04.07.2022	A	ISSUE FOR PRE DA
CK	18.10.2022	B	ISSUE FOR DA
CK	16.08.2023	C	ISSUE FOR DA - DRAWINGS AMENDED IN RELATION TO COUNCIL RFI LETTER DATED 27 APRIL 2023

IMPORTANT NOTE
THESE DRAWINGS HAVE BEEN ISSUED FOR DEVELOPMENT APPLICATION PURPOSES ONLY. THEY ARE NOT ISSUED FOR CONSTRUCTION OR CONSTRUCTION CERTIFICATE OR FOR THE PURPOSES OF PRICING BY ANY CONTRACTOR



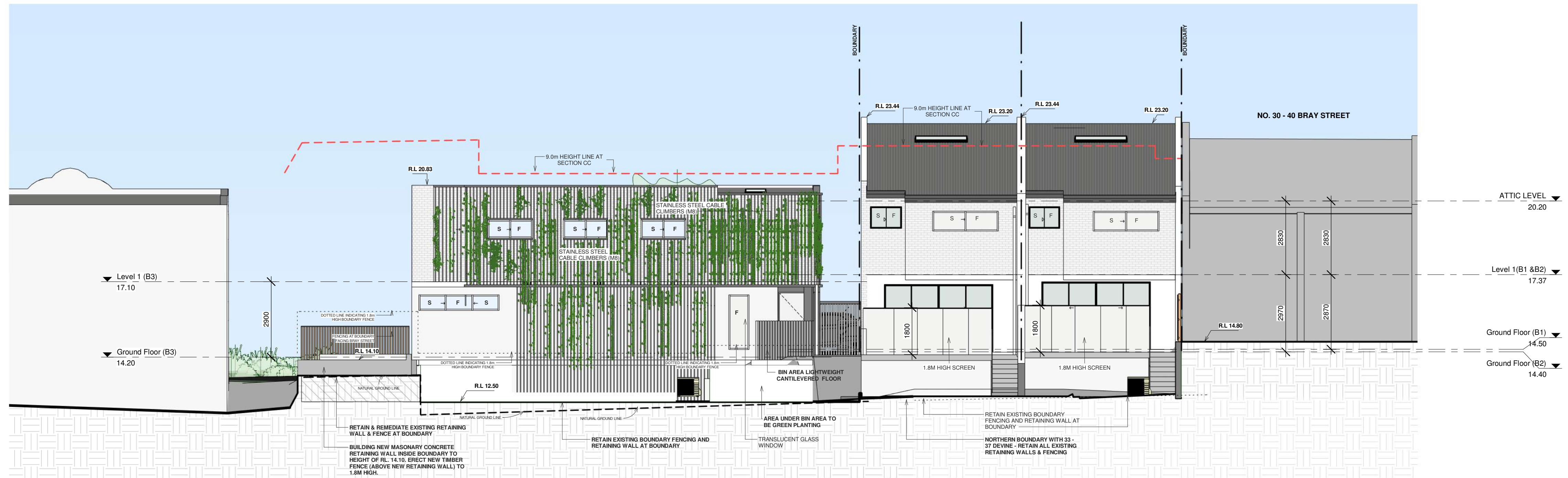


Katris Architects Pty
Level 1, Suite 2, 28-30 Burwood Road, Burwood NSW
PO Box 703 Burwood 1805 NSW
ABN 79 001 639 970

p 02 9744
f 02 9747 5046
www.katris.com.

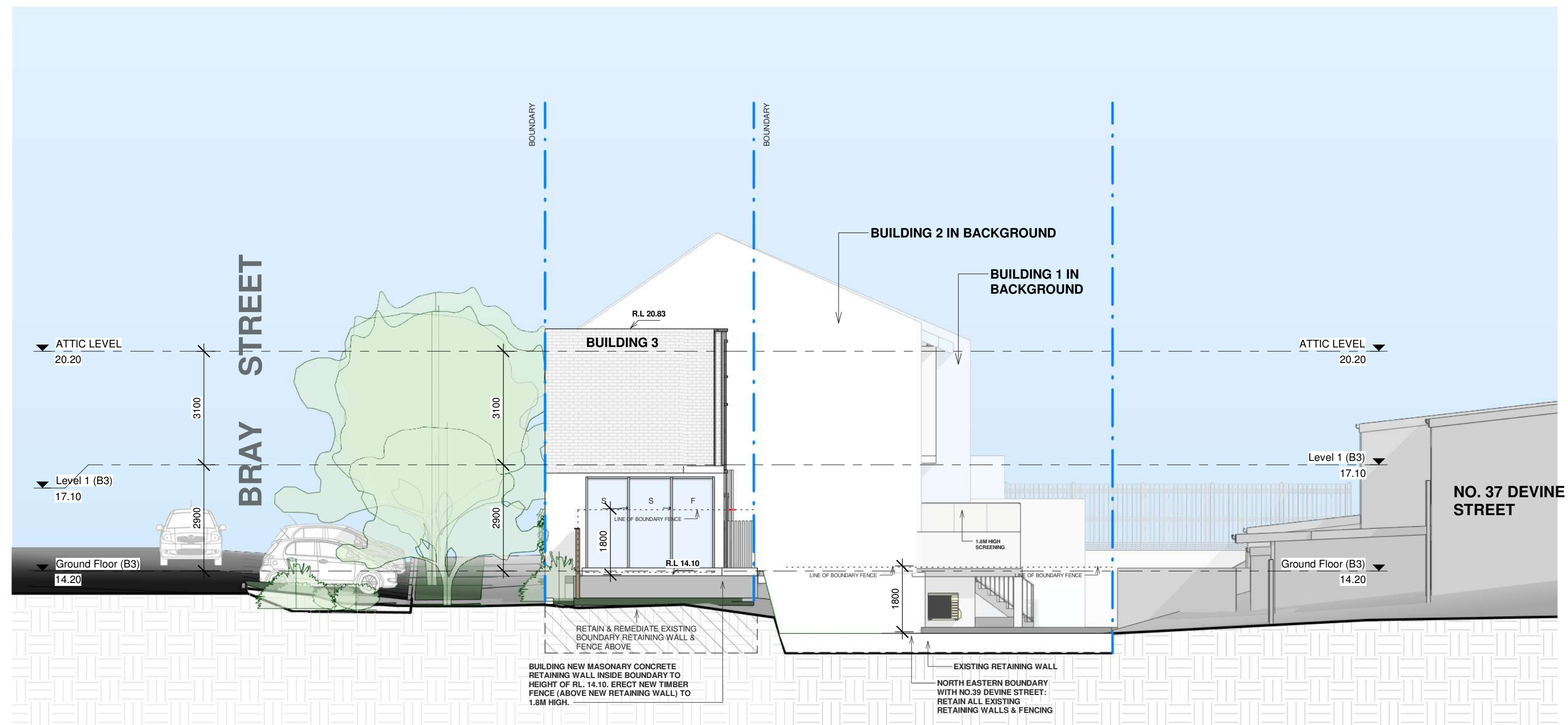
Nominated Architects Chris Katris (Reg 9724), Nick Katris (Reg 3878), Peter Katris (Reg 9724)

PROJECT PROPOSED SUBDIVISION INTO 3 LOTS AND THE PROPOSAL OF X3 SINGLE DWELLINGS ON EACH ALLOTMENT		CLIENT PELK Pty Ltd	
DRAWN JT	ARCHITECTS APPROVAL CK	DATE 21.08.2023	SCALE @ A3 1:200
TITLE NORTH & SOUTH ELEVATIONS	JOB No. 1467-22	ISSUE C	DRAWING No. A007



NORTH ELEVATION (WITHOUT BOUNDARY FENCE AND PLANTING SHOWN)

1
A008B
1 : 100



EAST ELEVATION (WITHOUT BOUNDARY FENCE & PLANTING SHOWN)

2
A008B
1 : 100

103

ARCHITECTURAL - GENERAL NOTES

A1 All dimensions are to be confirmed on site by the builder/subcontractor, any incongruities must be reported to the Architect before commencement of any work.

A2 The Builder/subcontractor will be held responsible for any construction details which have not been approved by the Architect.

A3 In the event of encountering any discrepancies on these drawings, specification or subsequent instructions issued, the Builder/Subcontractor shall contact the Architect before proceeding further with any work.

A4 The Builder/Subcontractor will be held responsible for the watertightness of the whole building for a minimum period of two years after the date of practical completion.

A5 It is the contractor's responsibility to have all Architectural & Structural documentation, including all site instructions any details issued during the course of construction, approved by the relevant authorities including the local Council & the Water Board before any work may be proceeded with.

A6 All construction, control joints and expansion joints in the wall, floors, & other locations shall be in strict accordance with Architectural and/or Structural Engineering details. No joints or breaks other than specified, are allowed without written permission from the Architect and/or Engineer.

A7 Measurements for the fabrication of secondary components such as windows, doors, internal frames, structural steel components and the like, are not to be taken from these documents. Measurements must be taken on site to suit the work as constructed.

A8 All structural components shall be in strict accordance to details and specifications as prepared by a structural engineer, and those details from part of the total specification.

A9 All existing structures need to be examined for structural adequacy, and it is the Contractor's responsibility to ensure that a certificate of structural adequacy is available prior to the start of any work.

A10 No construction work shall commence until a site survey has been completed. This work must be performed by a registered Surveyor.

A11 Foundation set-out, to be performed by the Surveyor mentioned in A10 and recovery pegs must be protected during construction.

A12 All timber work is to comply with the requirements of the Light Timber Framing Code S.A.A. Codes and Structural Engineer's details and specification.

A13 Copyrights of all documentation and designs relating to both Architectural and Structural Engineering, are retained by this office. Written authority is required for any reproduction.

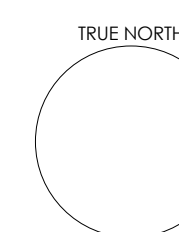
A14 All Architectural documentation to be read in conjunction with the Structural Engineer's details and specification.

IMPORTANT NOTE

It is the Tenderer's & Contractor's responsibility to check that all Architectural, Structural and all other job related documentation have been received before tendering and/or construction may commence. Should there be any doubt to the availability of such documents the Architect should be notified before further details be needed, the tenderer and/or Contractor shall obtain such details before signing of contract documents. Failure to adhere to these conditions, the Tenderer and/or Contractor nullifies any right or claim for extras, due to interpretation of documentation, and the Architect's &/or Engineer's direction shall be carried out at no extra cost.

DRAWN	DATE	ISSUE	AMENDMENT
JT	04.07.2022	A	ISSUE FOR PRE DA
CK	18.10.2022	B	ISSUE FOR DA
CK	16.08.2023	C	ISSUE FOR DA - DRAWINGS AMENDED IN RELATION TO COUNCIL RFI LETTER DATED 27 APRIL 2023

IMPORTANT NOTE
THESE DRAWINGS HAVE BEEN ISSUED FOR DEVELOPMENT APPLICATION PURPOSES ONLY. THEY ARE NOT ISSUED FOR CONSTRUCTION OR CONSTRUCTION CERTIFICATE OR FOR THE PURPOSES OF PRICING BY ANY CONTRACTOR



Katris Architects Pty

Level 1, Suite 2, 28-30 Burwood Road, Burwood NSW
PO Box 703 Burwood 1805 NSW
ABN 79 001 639 970

p 02 9744
f 02 9747 5046
www.katris.com.



Nominated Architects Chris Katris (Reg 9724), Nick Katris (Reg 3878), Peter Katris (Reg 1467-22)

PROJECT		CLIENT	
PROPOSED SUBDIVISION INTO 3 LOTS AND THE PROPOSAL OF X3 SINGLE DWELLINGS ON EACH ALLOTMENT		PELK Pty Ltd	
DRAWN		ARCHITECTS APPROVAL	
JT	CK	JOB No.	
DATE		DRAWING NO.	
21.08.2023	SCALE @ A3 1:200	SCALE @ A1 1:100	A008B
TITLE		ISSUE	
NORTH & EASTERN ELEVATION WITHOUT FENCING		C	

SCHEDULE OF COLOURS AND FINISHES



1
A010 SOUTHERN VIEW (ALONG BRAY STREET)

RAINWATER COLLECTION DEVICES AND ACCESSORIES FINISHED IN DULUX BERKSHIRE WHITE COLOUR



- M1** PGH MORADA BLANCO LINEAR
- M2** COVET "EVER ART WOOD" "TIMBER LOOK" METAL BATTENS AND PLANKS CLADDING "KURI MASAME"
- M3** PGH MORADA GRIS LINEAR
- M4** WHITE TINTED GLASS BALUSTRADES (INDICATIVE ONLY)
- M5** DULUX BERKSHIRE WHITE RENDER
- M6** VENETIAN CONCRETE PLASTER
- M7** METAL SCREENING AND METAL BALUSTRADES - POWDERCOATED DULUX BERKSHIRE WHITE
- M8** STAINLESS STEEL CABLE CLIMBERS
- M9** GALV STEEL FRONT ENTRY DOOR
- M10** METAL ROOF SHEETING COLOUR: COLOURBOND SHALE GREY PROFILE: CORRUGATED

ALL WINDOWS AND GLAZED DOORS FRAMES TO BE POWDERCOATED IN SHALE GREY U.N.O

ARCHITECTURAL - GENERAL NOTES

A1 All dimensions are to be confirmed on site by the builder/subcontractor, any incongruities must be reported to the Architect before commencement of any work.

A2 The Builder/subcontractor will be held responsible for any construction details which have not been approved by the Architect.

A3 In the event of encountering any discrepancies on these drawings, specification or subsequent instructions issued, the Builder/Subcontractor shall contact the Architect before proceeding further with any work.

A4 The Builder/Subcontractor will be held responsible for the watertightness of the whole building for a minimum period of two years after the date of practical completion.

A5 It is the contractor's responsibility to have all Architectural & Structural documentation, including all site instructions any details issued during the course of construction, approved by the relevant authorities including the local Council & the Water Board before any work may be proceeded with.

A6 All construction, control joints and expansion joints in the wall, floors, & other locations shall be in strict accordance with Architectural and/or Structural Engineering details. No joints or breaks other than specified, are allowed without written permission from the Architect and/or Engineer.

A7 Measurements for the fabrication of secondary components such as windows, doors, internal frames, structural steel components and the like, are not to be taken from these documents. Measurements must be taken on site to suit the work as constructed.

A8 All structural components shall be in strict accordance to details and specifications as prepared by a structural engineer, and those details from part of the total specification.

A9 All existing structures need to be examined for structural adequacy, and it is the Contractor's responsibility to ensure that a certificate of structural adequacy is available prior to the start of any work.

A10 No construction work shall commence until a site survey has been completed. This work must be performed by a registered Surveyor.

A11 Foundation set-out, to be performed by the Surveyor mentioned in A10 and recovery pegs must be protected during construction.

A12 All timber work is to comply with the requirements of the Light Timber Framing Code S.A.A. Codes and Structural Engineer's details and specification.

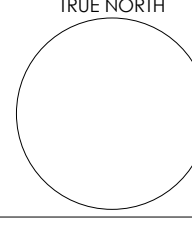
A13 Copyrights of all documentation and designs relating to both Architectural and Structural Engineering, are retained by this office. Written authority is required for any reproduction.

A14 All Architectural documentation to be read in conjunction with the Structural Engineer's details and specification.

IMPORTANT NOTE
It is the Tenderer's & Contractor's responsibility to check that all Architectural, Structural and all other job related documentation's have been received before tendering and/or construction may commence. Should there be any doubt to the availability of such documents the Architect should be notified before further details be needed, the tenderer and/or Contractor shall obtain such details before signing of contract documents. Failure to adhere to these conditions, the Tenderer and/or Contractor nullifies any right or claim for extras, due to interpretation of documentation, and the Architect's &/or Engineer's direction shall be carried out at no extra cost.

DRAWN	DATE	ISSUE	AMENDMENT
JT	04.07.2022	A	ISSUE FOR PRE DA
CK	18.10.2022	B	ISSUE FOR DA
CK	18.08.2023	C	ISSUE FOR DA - DRAWINGS AMENDED IN RELATION TO COUNCIL RFI LETTER DATED 27 APRIL 2023

IMPORTANT NOTE
THESE DRAWINGS HAVE BEEN ISSUED FOR DEVELOPMENT APPLICATION PURPOSES ONLY. THEY ARE NOT ISSUED FOR CONSTRUCTION OR CONSTRUCTION CERTIFICATE OR FOR THE PURPOSES OF PRICING BY ANY CONTRACTOR

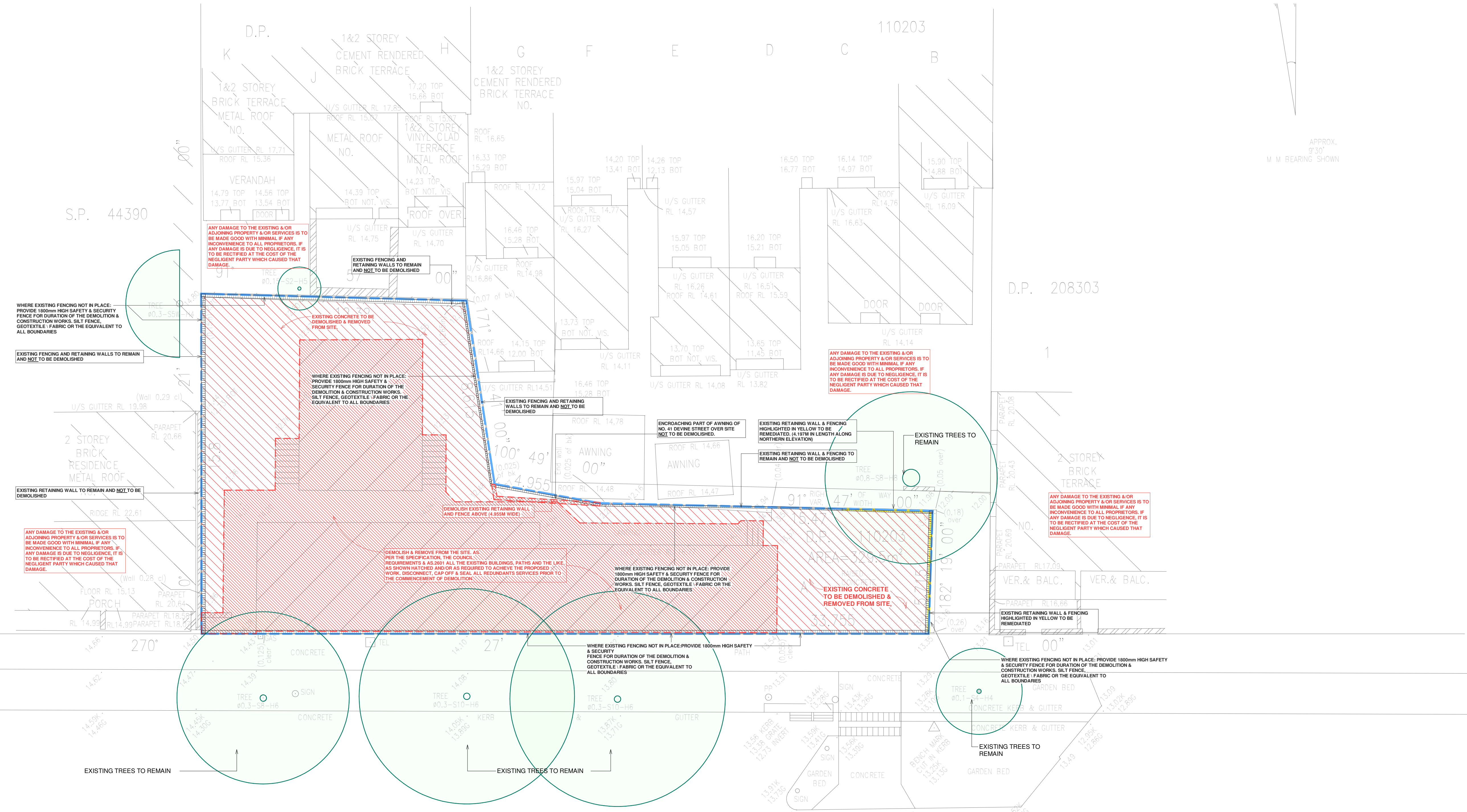


Katris Architects Pty
Level 1, Suite 2, 28-30 Burwood Road, Burwood NSW
PO Box 703 Burwood 1805 NSW
ABN 79 001 639 970

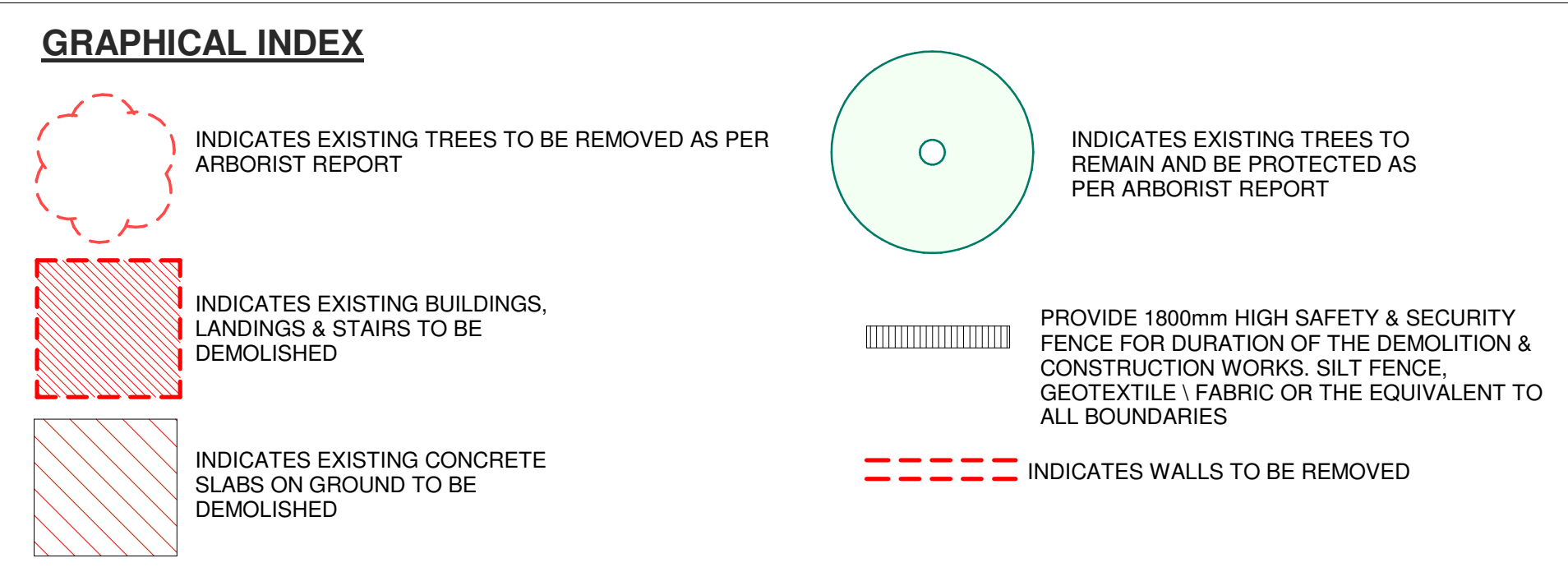
p 02 9744
f 02 9747 5046
www.katris.com.

Nominated Architects Chris Katris (Reg 9724), Nick Katris (Reg 3878), Peter Katris (Reg 1467-22)

PROJECT PROPOSED SUBDIVISION INTO 3 LOTS AND THE PROPOSAL OF X3 SINGLE DWELLINGS ON EACH ALLOTMENT	CLIENT PELK Pty Ltd	ARCHITECTS APPROVAL CK	JOB No. 1467-22
50 BRAY STREET, ERSKINEVILLE	DRAWN JT	SCALE @ A1 SCALE @ A1	DRAWING NO A010
TITLE SCHEDULE OF MATERIALS AND FINISHES	DATE 21.08.2023	SCALE @ A3 1:200	ISSUE C



1 DEMOLITION PLAN
A019 1:100



ARCHITECTURAL - GENERAL NOTES

A1 All dimensions are to be confirmed on site by the builder/subcontractor, any incongruities must be reported to the Architect before commencement of any work.

A2 The Builder/subcontractor will be held responsible for any construction details which have not been approved by the Architect.

A3 In the event of encountering any discrepancies on these drawings, specification or subsequent instructions issued, the Builder/Subcontractor shall contact the Architect before proceeding further with any work.

A4 The Builder/Subcontractor will be held responsible for the watertightness of the whole building for a minimum period of two years after the date of practical completion.

A5 It is the contractor's responsibility to have all Architectural & Structural documentation, including all site instructions any details issued during the course of construction, approved by the relevant authorities including the local Council & the Water Board before any work may be proceeded with.

A6 All construction, control joints and expansion joints in the wall, floors, & other locations shall be in strict accordance with Architectural and/or Structural Engineering details. No joints or breaks other than specified, are allowed without written permission from the Architect and/or Engineer.

A7 Measurements for the fabrication of secondary components such as windows, doors, internal frames, structural steel components and the like, are not to be taken from these documents. Measurements must be taken on site to suit the work as constructed.

A8 All structural components shall be in strict accordance to details and specifications as prepared by a structural engineer, and those details from part of the total specification.

A9 All existing structures need to be examined for structural adequacy, and if the Contractor's responsibility to ensure that a certificate of structural adequacy is available prior to the start of any work.

A10 No construction work shall commence until a site survey has been completed. This work must be performed by a registered Surveyor.

A11 Foundation set-out, to be performed by the Surveyor mentioned in A10 and recovery pegs must be protected during construction.

A12 All timber work is to comply with the requirements of the Light Timber Framing Code S.A.A. Codes and Structural Engineer's details and specification.

A13 Copyrights of all documentation and designs relating to both Architectural and Structural Engineering, are retained by this office. Written authority is required for any reproduction.


A14 All Architectural documentation to be read in conjunction with the Structural Engineer's details and specification.

IMPORTANT NOTE

It is the Tenderer's & Contractor's responsibility to check that all Architectural, Structural and all other job related documentation have been received before tendering and/or construction may commence. Should there be any doubt to the availability of such documents the Architect should be notified before further details be needed, the tenderer and/or Contractor shall obtain such details before signing of contract documents. Failure to adhere to these conditions, the tenderer and/or Contractor nullifies any right or claim for extras, due to interpretation of documentation, and the Architect's &/or Engineer's direction shall be carried out at no extra cost.

DRAWN	DATE	ISSUE	AMENDMENT
JT	04.07.2022	A	ISSUE FOR PHE DA
CK	18.10.2022	B	ISSUE FOR DA
CK	16.08.2023	C	ISSUE FOR DA - DRAWINGS AMENDED IN RELATION TO COUNCIL RFI LETTER DATED 27 APRIL 2023

IMPORTANT NOTE
THESE DRAWINGS HAVE BEEN ISSUED FOR DEVELOPMENT APPLICATION PURPOSES ONLY. THEY ARE NOT ISSUED FOR CONSTRUCTION OR CONSTRUCTION CERTIFICATE OR FOR THE PURPOSES OF PRICING BY ANY CONTRACTOR



Katris Architects Pty
Level 1, Suite 2, 28-30 Burwood Road, Burwood NSW
PO Box 703 Burwood 1805 NSW
ABN 79 001 639 970

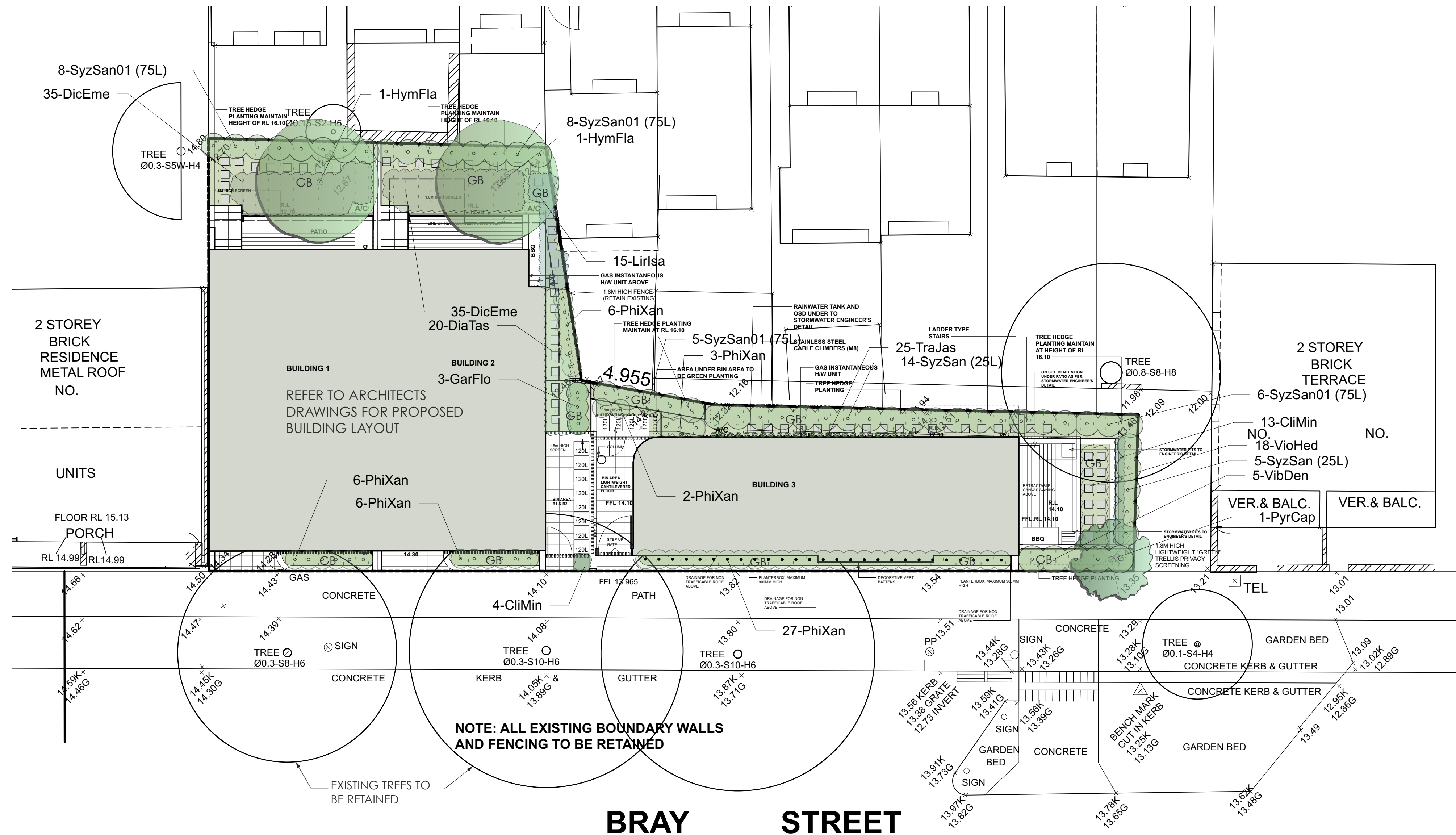
p 02 9744
f 02 9747 5046
www.katris.com.

Nominated Architects Chris Katris (Reg 9724), Nick Katris (Reg 3878), Peter Katris (Reg 9724)

PROJECT PROPOSED SUBDIVISION INTO 3 LOTS AND THE PROPOSAL OF X3 SINGLE DWELLINGS ON EACH ALLOTMENT		CLIENT PELK Pty Ltd	
DRAWN JT	ARCHITECTS APPROVAL CK	JOB No. 1467-22	
DATE 21.08.2023	SCALE @ A3 1:200	SCALE @ A1 1:100	DRAWING NO A019
TITLE DEMOLITION PLAN		ISSUE C	

LEGEND

- Existing trees to be retained
- Proposed tree plantings
- Proposed shrub plantings
- Proposed groundcover plantings
- Non slip tiles pavement
- Patio decking
- Proposed garden bed
- Unit paver stepping stones



LANDSCAPED AREA CALCULATIONS

Total site area	329.5m ² (approx.)
Total building area	196m ² (approx.)
Total paved area	50m ² (approx.)
(including driveway and patios)	
Total deep soil area	60m ² (approx.)
(15.2% of site area)	

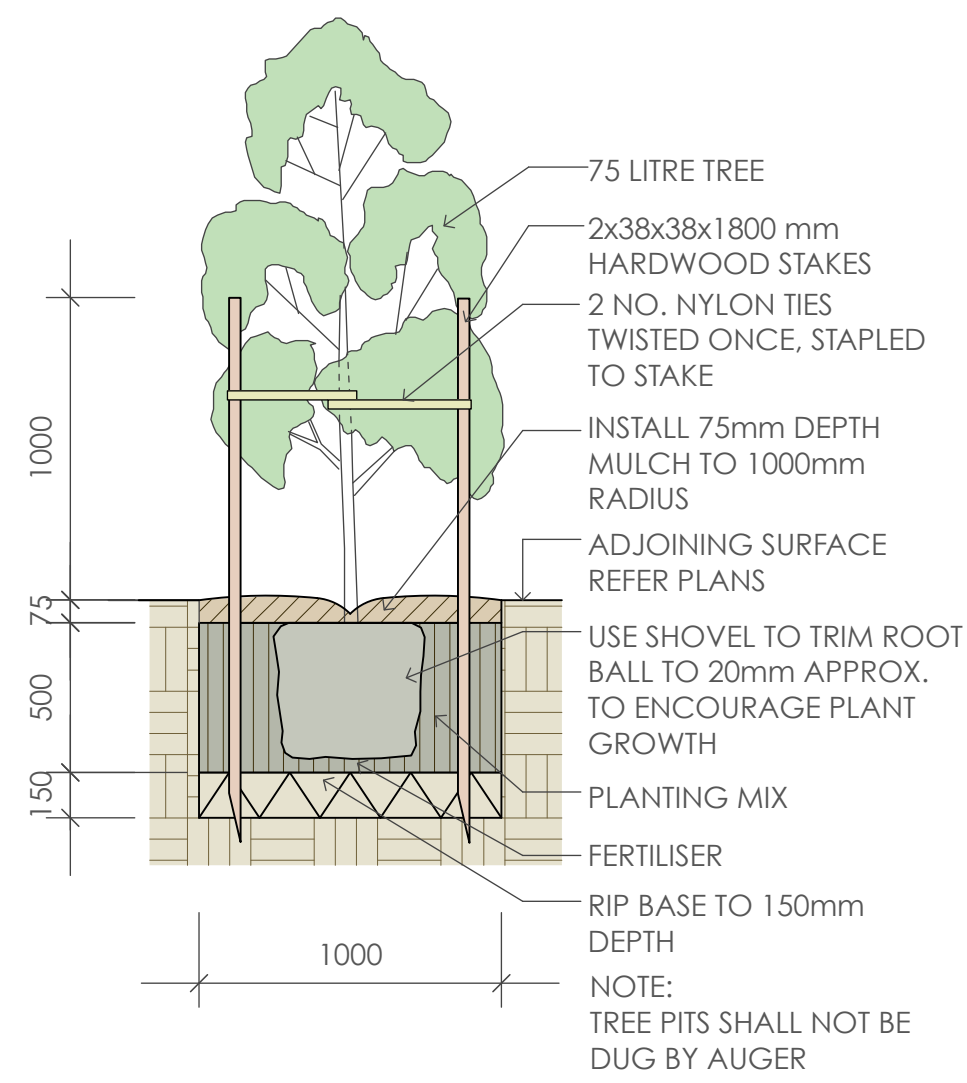
Plant Schedule	ID	Qty	Common Name	Botanical Name	Size	Mature Height	Mature Spread
Trees							
	HymFla	2	Native Frangipani	Hymenosporum flavum	75Litre	8 - 12m	5 - 6m
	PyrCap	1	Capital Flowering Pear	Pyrus calleryana 'Capital'	75Litre	10 - 12m	2 - 3m
Shrubs							
	GarFlo	3	Florida Gardenia	Gardenia augusta 'Florida'	300mm	0.8 - 1.0m	1.0 - 1.2m
	PhiXan	50	Philodendron	Philodendron xanadu	300mm	0.8 - 1.0m	0.8 - 1.0m
	SyzSan (25L)	19	Straight & Narrow Lily Pilly	Syzygium australe SAN01 (25L)	25 Litre	3.4m pruned hedge	1.0 - 1.5m
	SyzSan01 (75L)	27	Straight and Narrow Lily Pilly	Syzygium australe SAN01 (75L)	75 Litre (3m high min.)	3.4m pruned hedge	1.0 - 1.5m
	VibDen	5	Dense Fence Viburnum	Viburnum odoratissimum 'Dense Fence'	300mm	2 - 3m	1.5 - 2.0m
Ground Covers							
	TraJas	25	Star Jasmine	Trachelospermum jasminoides	200mm	0.3 - 0.6m	1 - 4m
	Lirisa	15	Isabella Liriope	Liriope muscari 'Isabella'	150mm	0.3 - 0.4m	0.4 - 0.5m
	DiaTas	20	Flax Lily	Dianella tasmanica 'Tasred'	200mm	0.4 - 0.5m	0.4 - 0.5m
	CliMin	17	Bush Lily	Clivia miniata	300mm	0.4 - 0.5m	0.4 - 0.5m
	VioHed	18	Native Violet	Viola hederacea	150mm	0.0 - 0.3m	1.2 - 2.0m
	DicEme	70	Emerald Falls Dichondra	Dichondra 'Emerald Falls'	200mm	0.0 - 0.3m	0.9 - 1.2m

GENERAL NOTES:

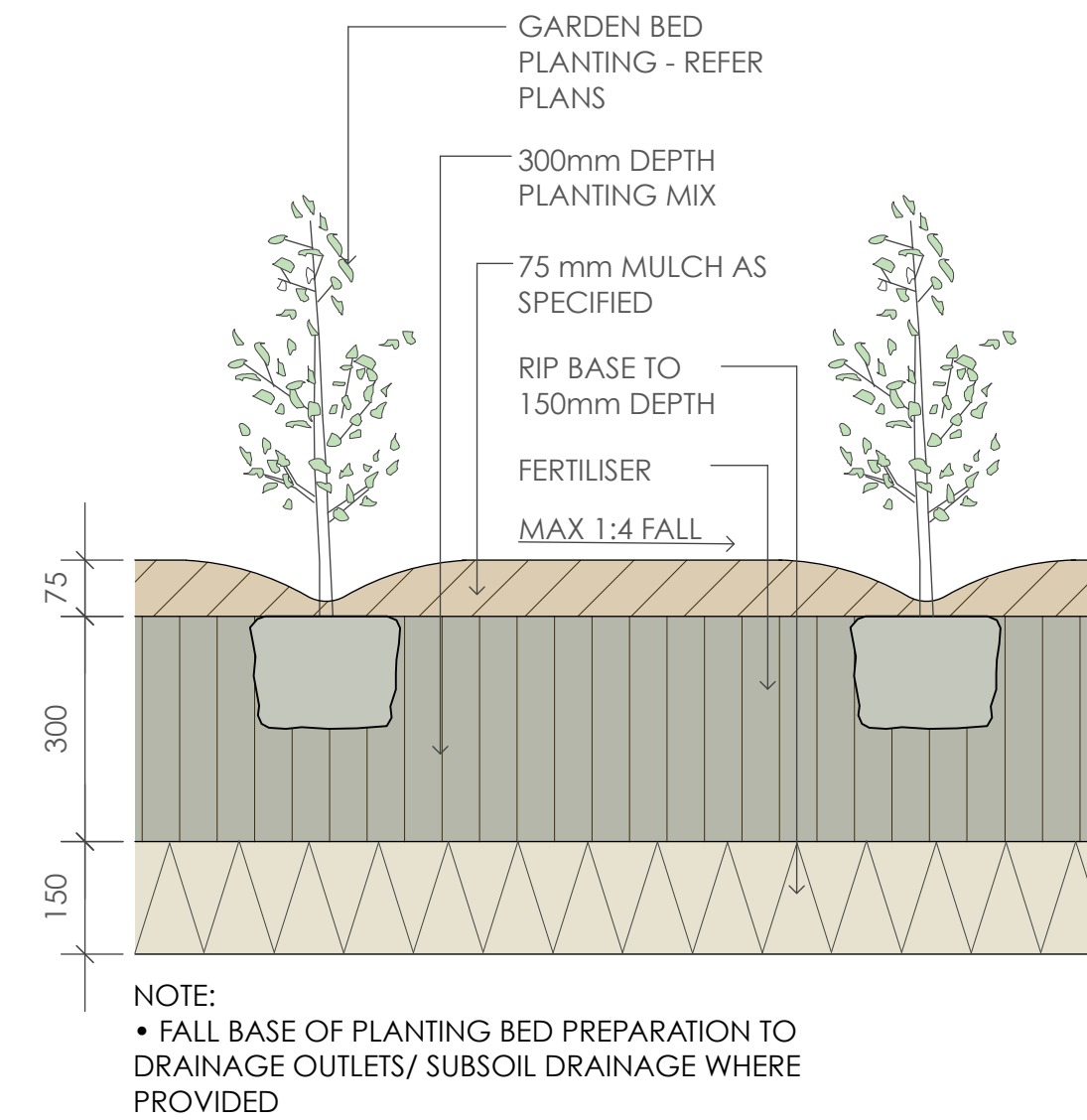
- Do not scale of drawings. Follow written dimensions. If in doubt obtain written advice from the Superintendent.
- Verify all dimensions on site.
- Refer to legend for all symbol and code keys.
- Read in conjunction with the specifications
- Read in conjunction with all associated drawings

DESIGNED:	GD	PREPARED FOR:	PELK PTY LTD	PREPARED BY:	GREENLAND DESIGN Landscape Architects	PROJECT:	PROPOSED DWELLINGS	DRAWING TITLE:	Landscape Plan	DATE:	MAY 2023
DRAWN:	CL					PROJECT ADDRESS:	NO. 50 BRAY STREET ERSKINEVILLE			SCALE:	1:100
ISSUE	AMENDMENT	DRAWN	DATE							FULL SIZE:	A1
										ISSUE:	B
										DRAWING NO.:	2644.GD.01





1 75 Litre Tree Planting
scale 1:25



2 Planting Bed Detail
scale 1:10

SPECIFICATION NOTES

PLANTING MATERIALS

Planting Mix:

Planting mix for tree pit backfill shall be "Organic Garden Mix" consisting of
 50% Black Soil
 20% Coarse Sand
 30% Organic Material

as available from Australian Native Landscapes, Phone: [02] 9450 1444, or approved equivalent. Samples shall be provided to the Superintendent prior to ordering or delivery to site. Any material delivered to site, that is rejected by the Superintendent, shall be removed by the contractor at his own expense. Minimum depths of mix to all planting bed areas is as specified on details.

Mulch:

Mulch to garden bed:

Mulch shall mean hardwood mulch (25mm grade), free from material derived from Privet, Willow, Poplar, Coral trees, or other noxious weeds. Any mulch exceeding the 25mm grade shall be rejected / removed from the site. Graded hardwood mulch to be supplied by Australian Native Landscapes Pty Ltd Phone (02) 9450 1444, or approved equivalent.

Spread mulch so that after settling, it is:

- smooth and evenly graded between design surface levels;
- flush with adjacent finished levels;
- of the required depths (75mm); and
- sloped towards the base of plant stems in plantation beds, but not in contact with the stem (not closer than 50mm in the case of gravel mulches).

Place after the preparation of the planting bed, planting and all other work.

Plant Material:

All plant material must be true to the species. No substitutes will be allowed. All plants shall be free of fungus and insect damage. All plants shall be healthy, well shaped, not soft or force grown and not root bound. Plants are available from **Andreasens Green** wholesale nursery, contact Darren (02) 8777 4713, email darren@andreasensgreen.com.au or approved equivalent.

PREPARATION AND HARDWORKS

Excavating for Spot Planting

To planting areas, excavate a hole for each plant large enough to provide not less than twice the depth and twice the diameter than the root ball of species to be planted.

Staking

Use durable hardwood, straight, free from knots or twists, pointed at one end. Drive stakes into the ground a minimum one third of their length, avoiding damage to the root system.

- 75 Litre trees in 2 x 38x38x1800mm Hardwood Stake with double Nylon tie TIES: Provide a 50mm wide Nylon webbing tie per stake, fixed securely to the stakes, one tie at half the height of the main stem and the other as necessary to stabilise the plant.

MAINTENANCE / PLANT ESTABLISHMENT

Maintenance shall apply to all hard and soft landscape materials installed prior to the "handover" and acceptance by Principles Representative and the Site Superintendent. The maintenance period shall commence at the granting of practical completion and shall extend for 12 months.

Maintenance shall consist of the following works:

- Follow a daily watering programme to be approved by Superintendent. Water all plants individually, twice per week or when necessary to ensure constant plant growth. Water all turf and native grassed areas, twice per week.
- Apply appropriate weed control sprays and hand weed as required to maintain planting areas, paved areas free of weed or rogue grass growth.
- Regularly tidy and top up mulch and trim edges to prevent spill over onto paved / grassed areas.
- Spray to control pests and diseases.
- Replace plants, which fail with plants of a similar size and quality as originally specified to approval of Superintendent. Costs of replacement shall be the responsibility of the Contractor. Replacement planting will be undertaken within 2 weeks of identification of dead material or instruction by the Superintendent.
- Report any incidence of plants stolen or destroyed by vandalism.
- Adjust stakes and ties to plants as necessary. Ensure that strangulation of plants does not occur.
- Prune and shape plants as directed or where necessary.
- Make good any defects or faults arising out of defective workmanship or materials.
- Make good any erosion or soil subsidence, which may occur including soft areas in pathways.
- A final inspection shall be made by the Superintendent before handover. Any items requiring rectification shall be repaired before the works are finally approved, and retention moneys released.

NOTE:

- All finished levels are to be verified by Contractor on site.
- All landscape works be in strict accordance with Council's landscape code and guidelines
- This plan to be used in conjunction with all other submitted architectural, hydraulics and engineering drawing where applicable.

GREENLAND DESIGN												
TWELVE MONTHS MAINTENANCE SCHEDULE	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec
Plant Care												
Monitoring												
Pruning as required												
Deadhead /tip pruning												
Slow release fertilise												
Rapid soluble fertilise as required												
Cut back perennials and grasses												
Watering as required												
Garden Bed												
Edging												
Remove weeds and herbicide spraying as required												
Top up mulch as required												
Dead foliage removal												
Pest Management												
Monitoring and herbicide spraying as required												
Winter clean up												
Remove dead foliage and pruning as required												

GENERAL NOTES:
 1. Do not scale of drawings. Follow written dimensions. If in doubt obtain written advice from the Superintendent.
 2. Verify all dimensions on site.
 3. Refer to legend for all symbol and code keys.
 4. Read in conjunction with the specifications
 5. Read in conjunction with all associated drawings

B	REVISION FOR DA	CL	29.05.23
A	FOR DA	CL	01.11.22
ISSUE	AMENDMENT	DRAWN	DATE

DESIGNED: GD	PREPARED FOR: PELK PTY LTD
DRAWN: CL	

PREPARED BY:

 Greenland Design Pty Ltd
 ABN 73 139 152 855
 Registered Landsc: Architect: Bao Ly
 PO Box 3228 Wetherill Park NSW 2164
 T: 0403 164 198
 E: gd@greenlanddesign.com.au

PROJECT: PROPOSED DWELLINGS
PROJECT ADDRESS: NO. 50 BRAY STREET ERSKINEVILLE

DRAWING TITLE: Landscape Details & Specification
--

DATE: MAY 2023
SCALE: varies FULL SIZE: A1
ISSUE: B
DRAWING NO: 2644.GD.02

108



⊗ - EASEMENT TO DRAIN WATER VARIABLE WIDTH

BRAY

STREET

<p>SURVEYOR Name: VICTOR JOHN MANSELL Date: Reference: 205618-3</p>	<p>PLAN HEADING PLAN OF PROPOSED SUBDIVISION OF LOT A D.P. 110203</p>	<p>L.G.A.: SYDNEY Locality: ERSKINEVILLE Reduction Ratio: 1: 200 Lengths are in metres</p>	<p>REGISTERED</p>	<p>DRAFT</p>
---	---	--	-------------------	--------------